

Architectural & Urban Design Controls

Maremmana

draft update 5-3-2012





CONTENTS

| | | |
|---|--|--------|
| A | INTRODUCTION | page 4 |
| B | VISION | 5-6 |
| C | BUILT FORM | 7 |
| D | DEFINITIONS & GENERAL RESTRICTIONS | 8-16 |
| | 1 Statutory | |
| | 2 Site Restrictions | |
| | 3 Residential Unit Size Restrictions | |
| | 4 General Building Form Restrictions | |
| E | COURT SITE AND FYNBOS & Paddock SITE BUILDING FORM CONTROL | 17-26 |
| | 1 Court Site Controls | |
| | 2 Fynbos & Paddock Site Controls | |
| F | ROOFS | 27-28 |
| G | WALL CONSTRUCTION & FINISHES | 29-31 |
| | 1 Exterior Building Walls | |
| | 2 Gables and Gable Ends | |
| | 3 Chimneys | |
| H | WINDOW TYPES AND FINISHES | 32 |
| I | DOOR TYPES AND FINISHES | 33 |
| J | SHUTTERS | 33 |
| K | BURGLAR BARS | 33 |
| L | EXTERNAL BUILT ELEMENTS | 34-38 |
| | 1 Perimeter Fences and Boundary Walls | |
| | 2 Retaining Walls, Steps and Ramps | |
| | 3 Stoeps and Pergolas | |
| | 4 Timber Decks | |
| | 5 Balustrading | |
| | 6 Waste Pipes | |
| | 7 Rainwater Goods | |
| | 8 Stormwater and Drainage | |
| | 9 External/ Outdoor Lighting | |



| | | | |
|---|----|--|-------|
| | 10 | Signage, Lettering and Numbering | |
| | 11 | Swimming Pools and Water Features | |
| | 12 | Outbuildings, Carports and Other Utility Areas | |
| | 13 | Laundry and Refuse Areas | |
| | 14 | Alternative Energy | |
| | 15 | Electricity Supply | |
| | 16 | Other Services | |
| M | | ACCESS | 39-40 |
| | 1. | Vehicular Access/ Driveways | |
| | 2. | Hard Surfacing Materials | |
| N | | ENVIRONMENTAL / SOFT LANDSCAPING CONTROLS | 41-44 |
| | 1. | Site Clearing | |
| | 2. | Planting Character | |
| | 3. | Plant List | |
| O | | FIRE PRECAUTIONS | 45 |
| P | | PLAN SUBMISSION PROCESS | 46-47 |
| | 1 | Submission to the Design Review Committee | |
| | 2 | Submission of Council Drawings to the MHOA | |
| | 3 | Local Authority Plan Approval | |
| Q | | DISCLAIMERS | 48 |



A Introduction

- 1** This document sets out the Urban Design, Architectural and Landscape Controls with which prospective Owners will have to comply, if they wish to build at Maremma, and forms part of the Maremma Home Owners Association (MHOA) Constitution.
- 2** In terms of the Agreement of Sale and the Constitution, Owners will be obliged to submit their drawings to the Design Review Committee (appointed by the MHOA) for design approval, before submitting them to the local authority. Approval or rejection of the design is at the discretion of the Design Review Committee. Refer to the requirements for submissions at the end of this document.
- 3** The MHOA has the right to vary the requirements contained within this document subject to the approval of the local authorities.
- 4** The Owner and his Contractor will be subject to the provisions of an Environmental Contract which will be administered by the MHOA and which will contain obligations and penalties for any breach of contract.
- 5** In these guidelines the word "must" indicate mandatory provisions, while the word "should" indicates desirable and recommended provisions that may only be deviated from at the discretion of the Design Review Committee.



B Vision

The design philosophy for Maremma is driven by the desire to create a contemporary rural community, enriched by a reference to traditional Cape spatial forms and architecture in a simple, yet sophisticated contemporary design context. It seeks to generate a synergy between the natural landscape, agriculture, equestrian activities and a rural residential fabric.

The layout of the development is informed by the natural landscape and topography of the site. The paddocks and related facilities are located on what is predominantly fallow farmland, on the flatter areas of the site and closer to the access routes. The housing in turn is located on the more private eastern portion of the site, enjoying spectacular views of the Babilonstoring Mountains, the Houwhoek Mountains and the proposed new fishing dam. A small lodge is further proposed in conjunction with the equestrian facilities, overlooking the paddocks and enjoying a spectacular view to the east.

The development is to retain the rural character of the area. The integrated presence of water in the landscape, with the equestrian and fishing activities facilitate an added complexity to a lifestyle at Maremma.

Buildings, whether in a formal or informal interrelation, are spaced generously, and limited in size and height to ensure the retention of a scale relevant to the rural setting, typical in this area. Low walls and the formal water elements are used to define space and to delineate the transition from the public to the private. The guidelines encourage simple architectural forms, with flat and pitched roofscapes over fragmented building plan forms. This will assist in defining the relationship between different private / semi-private, internal and external spaces, to create a richness in spatial hierarchy. The fragmentation of built form further ensures a minimal visual impact. The guidelines aim to make reference to traditional Cape farm building forms, yet encourage the simplicity of contemporary interpretation.



Traditional Cape Longhouse Building Form



Contemporary space



The urban design and architecture controls are aimed at establishing an architectural and land pattern direction that will be implemented in balance with each site's attributes. Two main residential areas are identified which will have different aesthetic controls: the Court sites and the Fynbos & Paddock sites.

The architecture and landscaping for the development of the court sites should result in a formal or rectilinear relationship between the houses and the court. Simple traditional stoep elements create a transition from the public to the private. The intention is to create a strong sense of community in the streetscape and courts, without impeding the privacy of the sites. The suggested house types on these sites would be the simple L-plan, H-plan, U-plan or T-plan types.

The layout of the Fynbos and Paddock sites relate primarily to slope and views, and therefore have a less formal interrelation. Where the Court sites are situated on relatively flat land, the Fynbos and Paddock sites are situated on slopes overlooking the trout dam as well as the views to the east. The slope allows these sites views over the buildings lower down.

The architecture should seek to marry elements of the traditional Cape rural town and of farmsteads of the area, while maintaining a contemporary freedom and interpretation. While building forms are to be pure with clear references to barn-type buildings and the simplicity of a rural architecture, the guidelines encourage a modern interpretation of openings and spatial design, allowing buildings to open up and to integrate the internal spaces with the exterior courtyard or garden. The guidelines further encourage the extensive use of 'stoeps', timber pergolas and shutters sympathetic to the topography, creating building footprints and roof forms that relate to the natural context and make reference to its time and place.



C Built Form

1. The designer should aim to position the house forms in such a way that it could create a sheltered garden or courtyard space which is protected from prevailing winds and which optimizes the views relevant to the site.
2. The plan forms used should be small and fragmented as opposed to large and monolithic, so that the shadows cast by the many planes minimize the visual impact of the dwelling on the slope of the hill.
3. House forms are to be composed of primary and secondary forms. Primary forms must have double pitched roofs with a rectangular plan form. Secondary forms abut or link primary forms and have concrete flat roofs or low pitch sheet metal roofing.
4. Primary roof forms must be parallel or perpendicular to the other Primary forms dependant on the site being a Court Site or a Fybos & Paddock Site. These rectangular forms must also be parallel or perpendicular relative to the boundary line. It is encouraged that Primary forms follow and step with the contours of the site.
5. The use of projecting decks, verandahs and eaves to shade walls and areas of glass, in order to soften the visual impact of the building, is encouraged.



D Definitions and General Restrictions

The following definitions and restrictions apply to both Court Sites and the Fynbos & Paddock Sites.

1 STATUTORY

1.1 Design Review Committee (DRC)

This committee is formed by the Architectural Practice selected and the MHOA representative/s. The role of the committee is to review and approve all design proposals. The DRC will meet once a month on the first Wednesday of every month or as agreed.

1.2 Architectural & Urban Design Controls (A&UDC)

It is this document and is defined as the document to control the nature and aesthetics of development at Maremma. It is put in place to ensure the protection, improvement and enhancement of the natural and built environment at Maremma, in order to create an identity unique to Maremma and its context. An informed design consistency and quality control in all residential units add value to the estate.

1.3 Construction Phase Environmental Management Plan (CEMP)

Describes how controls are to be carried out on site and describes mitigation measures in detail. It is prescriptive, identifying specific individuals or organizations responsible for undertaking specific tasks, to ensure that impact on the environment is minimized during construction.

1.4 Estate Architects (EA)

Means the selected architectural practice that will form part of the Design Review Committee (DRC). The EA is Neel Saayman Architects cc of 29 Arum Street, Onrus River, Phone 076 0927 240.

Sketch design drawings (work stage 2) must be submitted to the EA for approval prior to proceeding with work stage 3 drawings.

Developed design drawings (work stage 3) must be submitted to the EA and DRC for approval prior to proceeding with submission to the Local Authority.

1.5 Architect

Landowners who wish to construct a house on their properties at Maremma must appoint an architect to design, document and administer the construction of their project. An architect means a person who is registered with the South African Council for the Architectural Profession (SACAP) as a Professional Architect, abbreviated Pr Arch.



1.6 Local Authority

The local authority is the Theewaterskloof Municipality, Plein Street, Caledon (phone 028-214 3300).

Building submission drawings must be submitted to the local authority, after approval by the Maremma DRC, and approved prior to construction.

2 SITE RESTRICTIONS

2.1 Site Diagrams

Means the diagram of any specific individual site, describing the site boundaries, exclusive use areas, access and any other restrictions imposed on the site.

2.2 Site Access & Egress

The location of access and egress is controlled and are specific to 'Court Sites' and the 'Fynbos & Paddock Sites'. This is dealt with specifically under these headings.

2.3 The Site

The site means the residential property that each owner at Maremma has title to and is defined as a Court Site, Fynbos Site or Paddock Site, numbered 6 to 55. Each site is 400sqm in size. Construction is restricted to the confines of the boundaries of the site.

2.4 Site Building Lines

A general 0m building line applies to all boundaries of all the sites.

2.5 Exclusive use areas outside of the site

All sites are surrounded by an exclusive use area of 600sqm directly outside of the site boundaries. The boundaries of the exclusive use area will be defined by the DRC and may vary between sites.

No structures, other than pre-defined exclusive use boundary treatment, are allowed in the exclusive use areas.

Exclusive use areas are for soft landscaping in accordance with the defined plant list.

2.6 Site Coverage

Coverage means the maximum area covered by any floor of the dwelling (whether or not useable), as measured from the outer face of the exterior walls or similar supports of such a dwelling, provided that:



- (i) for the purposes of measuring maximum coverage; garages, storage, basements, boat houses or other free-standing enclosed structures shall be included. Any covered spaces, such as covered verandahs or decks shall also be included.

Coverage is defined as a percentage of the site that is 'covered' as described above.

The maximum allowable coverage for any site is 50%.

The maximum allowable ground floor enclosed footprint is 175sqm as required by Theewaterskloof Town Planning.

The site area is 400sqm and 50% coverage results in a coverage footprint of 200sqm. This leaves 25sqm of coverage which may be considered by Theewaterskloof Municipality for spaces that are not fully enclosed, such as pergolas, shaded parking etc., however the onus rests with the owner or the owner's architect to liaise directly with Theewaterskloof in this regard and to furnish the DRC with supporting documentation from Theewaterskloof Municipality supporting any proposed additional covered space that falls within this 25sqm.

2.7 Site Landscaping

Soft landscaping (planting) on the site is encouraged and should cover at least 20% of the site. Hard landscaping is discouraged and should be limited to pools, yards, driveways, carports, stoeps/terraces, footpaths and decks.

2.8 Natural Ground Level (NGL) Survey

Each site is to be surveyed prior to commencement of building works and finished floor levels indicated on the building plans are to relate to the natural ground levels.

The survey must be a current survey, accurately reflecting the levels of the site it is intended to build on with contours shown at 500mm intervals.

The survey must be attached to building plans submission to the EA, and will serve as the base information measuring height above natural ground level.

3 RESIDENTIAL UNIT SIZE RESTRICTIONS

3.1 Each site must have one residential unit dwelling only.

The size of a residential unit dwelling is 175square meters enclosed ground floor footprint maximum, including garages and storage areas. This is the total enclosed floor area as measured from the outside face of the external walls on ground floor.

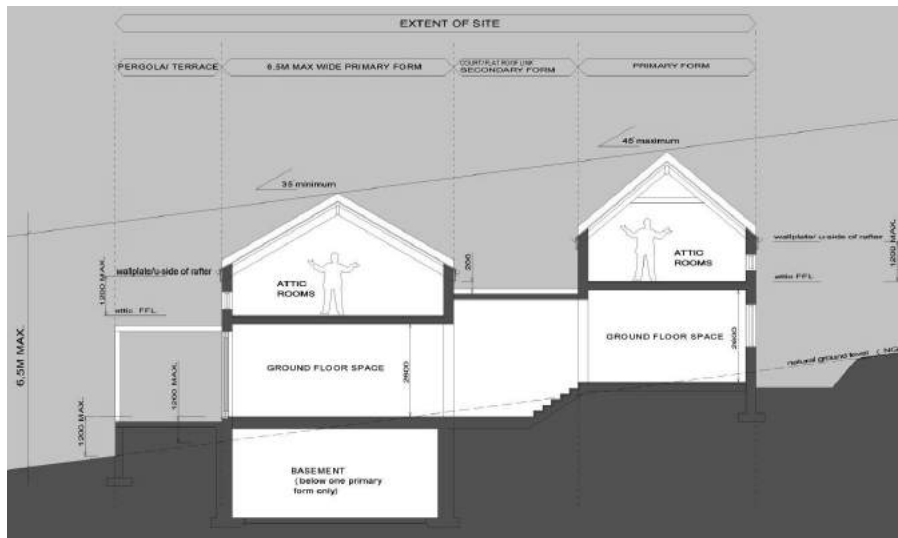
First floor attic space is allowed and is not included in the 175sqm limitation on ground floor. The attic space height is limited to 1,2m measured from the finished floor level of the attic floor to the underside of the roof rafters, at the point where the rafter meets the wall plate on the external wall of the Primary Building Form in question.



A basement floor is allowed directly below only one of the primary building forms. This floor space is not included in the 175sqm ground floor limitation.

In order to ensure high quality spaces at Maremma Estate, the ground floor ceiling height in Primary Building Forms is suggested as 2,6m minimum height, above finished floor level except in kitchens, storage rooms, garages, sculleries and bathrooms.

4 GENERAL BUILDING FORM RESTRICTIONS



Typical Section Drawing

4.1 Single Storey Limit:

All houses at Maremma are to be depicted as single storey buildings in design expression, yet rooms in the attic and basement are permitted.

4.2 Height Restriction:

All buildings are restricted to 6.5m above the natural ground level of the site. No portion of the building, except chimneys, shall be higher than 6.5m above any point of the natural and finished



ground level immediately below it. Chimneys are to comply with SANS10400, specifically Part V.

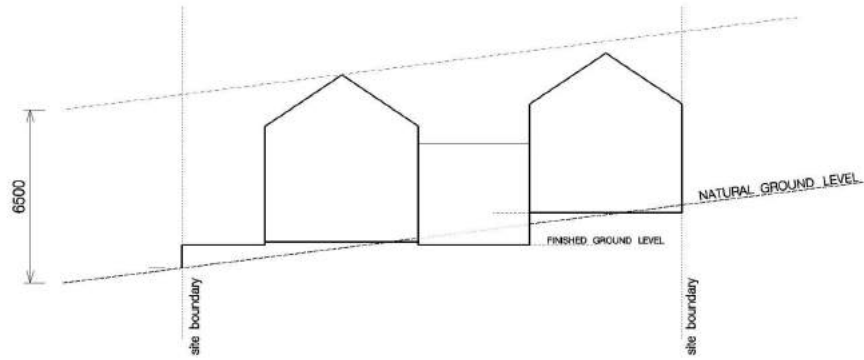


Figure 4.2: Maximum height above natural ground level

4.3 Finished Floor Level (FFL) to Natural Ground Level (NGL) and Finished Ground Level (FGL)

The internal finished floor level (ffl) is at no point to be more than 1.2m above natural ground level (NGL) and finished ground level (FGL).

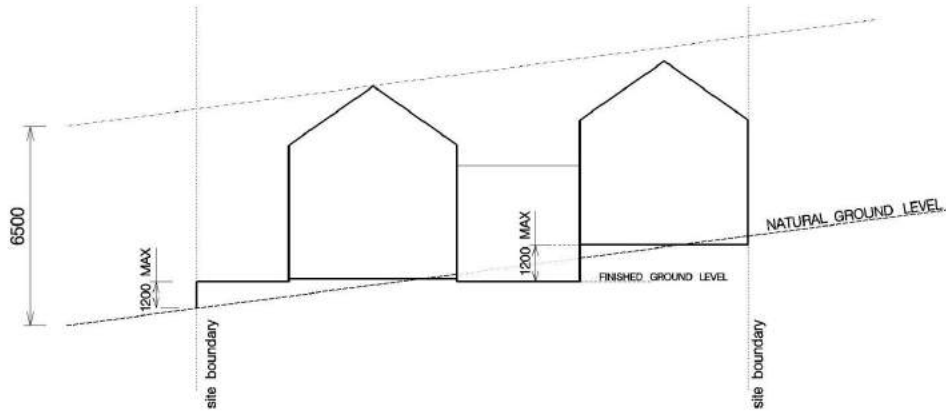


Figure 4.3: FFL above NGL and FGL



- **Basements**

No portion of a basement (measured to the finished floor level above the basement) may project more than 1.2m above natural ground level. A basement may not have an average height of more than 1m above natural ground level (measured to finished floor level above). A basement level is not considered as a building storey for the purposes of height restrictions, but is included in the calculation of physical height above natural ground level where applicable.

Basements are restricted to be directly below only one of the Primary Building Forms and not below secondary building forms.

4.4 Primary Building Forms

Primary building forms are the main building elements that dominate the design of the house.

Each house must have at least one primary building form in its design.

They must have a symmetrically double pitched roof with a pitch of between 35 and 45 degrees.

Each primary form must be roofed individually.

Primary Building Forms must be rectangular in plan form.

They must have a maximum width of 6,5m and a length which is a minimum of twice its width, measured externally.

Primary Building Forms may stand alone. If there is more than one Primary Building Form on a site, they must be linked to each other with secondary building forms. Primary Building Forms may not be linked directly to each other with hipped or valley roofs (see section 4.5 for secondary building forms).

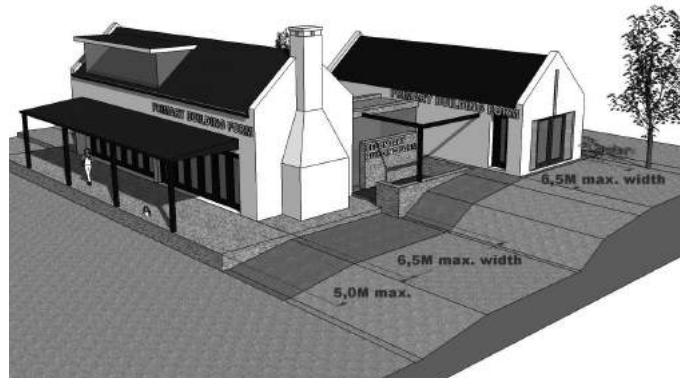


Figure D 4.4.1



Primary Building Forms must have gabled ends.

Gables must be expressed with a parapet.

Openings in gables must be vertically proportioned.

The corners of gables must be of continuous masonry form and material and not be interrupted by corner glazing.

Architects are encouraged to express fireplaces externally on the gable walls of Primary Building Forms.

Sides of Primary Building Forms should have large openings in the walls.

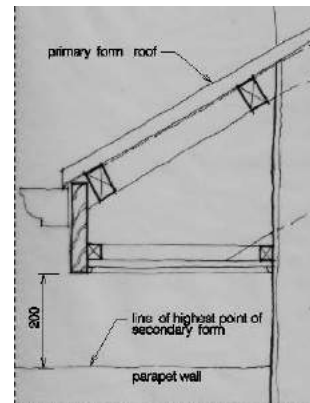
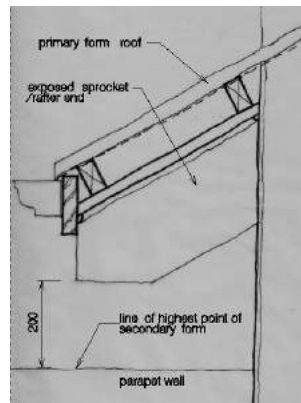
Wall openings wider than 1,2m must have a secondary element in front, over or next to it such as a pergola, screen or covered stoep/ deck. This does not apply to openings that do not face towards the site boundaries, such as openings that face onto internal courtyards.



4.5 Secondary Building Forms

These are building forms attached to the Primary Building Forms and can be used to link Primary Building Forms (see figure D4.4.1)

The highest point of Secondary Building Forms must be no higher than 200mm below the eaves of a Primary Building Form.



Eaves with exposed rafter ends/ sprockets
Figure D 4.5

Conventional Eaves

In plan, a Secondary Building Form must be a minimum of 200mm away from a corner of a Primary Building Form.

Secondary Building Forms must have flat roofs or pitched roofs of which the pitch is 5 degrees maximum if it is a double pitch roof and 20 degrees maximum if it is a lean-to roof or steep roof.

Secondary Building Forms may not directly adjoin each other and must be attached to a Primary Building Form.

The opening size limitations requiring the addition of Secondary Elements do not apply to Secondary Building forms.

It is encouraged that the design expression of Secondary Building Forms, not just in form, but also in openings sizes and building materials be different to that of Primary Building Forms.

Garages may be expressed as Secondary Building Forms or incorporated within Primary Building Forms.

Garages may be freestanding or linked to Primary Building Forms.

4.6 Secondary Elements

This refers to secondary architectural elements that are attached to Primary or Secondary Building Forms such as balconies, pergolas, screens, decks or stoeps/ terraces. Secondary Elements do not create complete enclosure, yet may provide cover or partial enclosure.

Secondary Elements may not directly adjoin each other and must be attached to a Primary Building Form and/ or a Secondary Building Form.



Examples of Secondary Elements:

- **Decks**
This is a timber external floor area, which is raised off the ground level on posts and projects out beyond the building perimeter and includes any railing enclosing it. Decks are at a level the same or lower than the level of the ground floor level from which it is accessed. If a deck is built on a solid base, restrictions applicable to stoeps apply.
- **Stoeps**
A constructed external floor area, which is raised off the ground level and lower than the adjacent ground floor level of the building form from which it is accessed.
- **Garden Terraces**
A level or platform created through either cutting or fill, which is not directly attached to the main building elements. Garden terraces refer to areas surfaced with hard or soft landscaping.
- **Pergolas**
- **Screens**

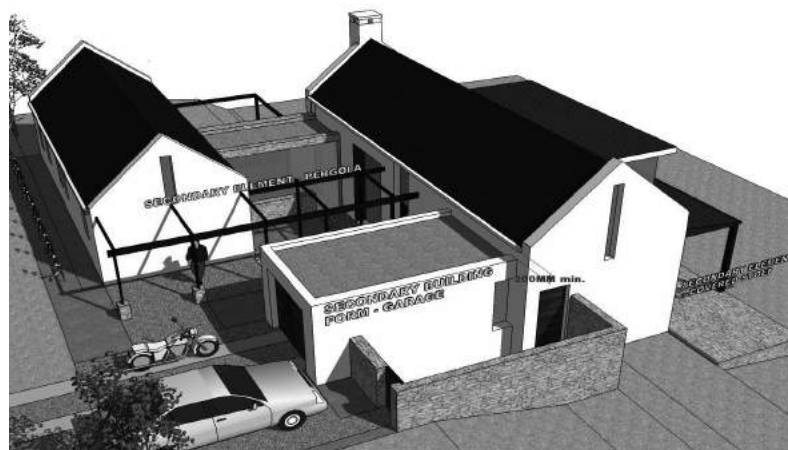


Figure D 4.6



E Court Sites and Fynbos & Paddock Site Building Form Control

General restrictions under section D apply to all the sites, Court Sites and Fynbos & Paddock Sites.

Different residential areas have been identified within Maremma, and due to the location and visibility of these dwellings, some differences in urban design controls have been employed for each area. All general restrictions apply to these areas.

The two different areas are:

1. Court Sites
2. Fynbos Sites and Paddock Sites

What follows is a description for the area specific controls for these residential areas.

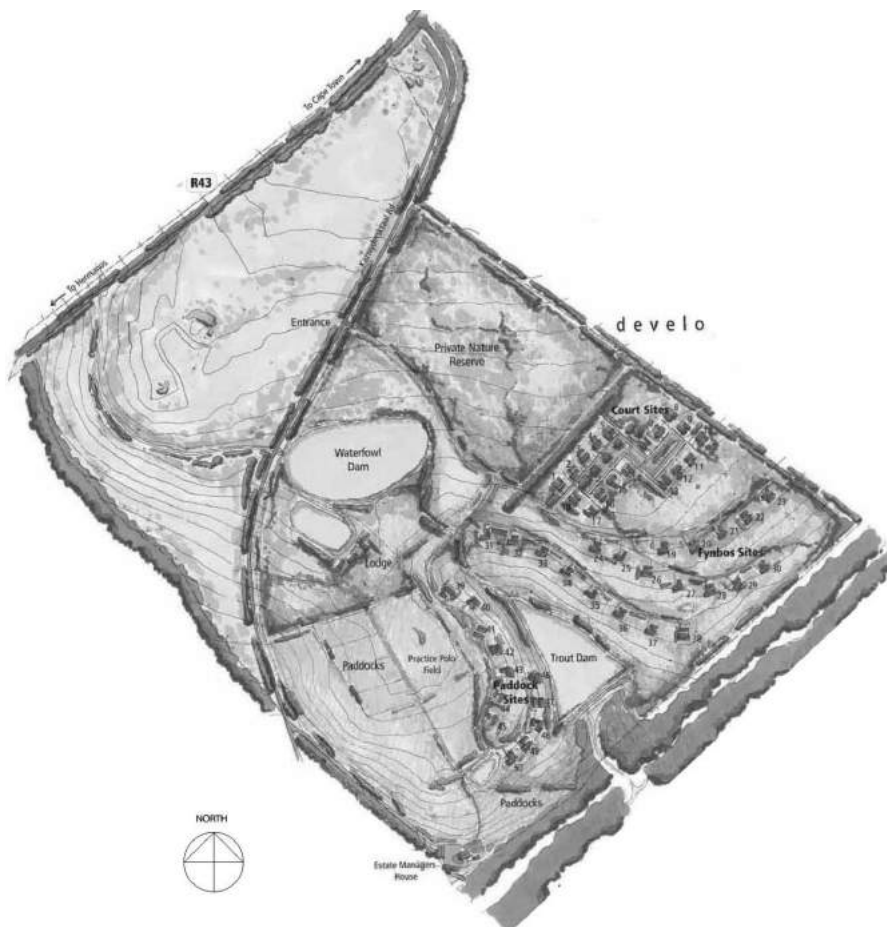


Figure E – Development site plan



1. Court Site Controls

1.1 Introduction

The dwellings are positioned around two distinct court spaces. The spaces are of a public nature and will include water elements, which will relate to the formal structure of the space. Horse tethers and wall elements should be included within this space.

Building form is to reveal some of the design principles of the Overberg's rural barns. All barns are to be rectilinear in form, with minimal stepping or breaking of the barn form. A modern interpretation of these buildings is strongly encouraged.

Restrictions noted below are over and above the general restrictions noted in section D.

1.2 Court Site Restrictions:

- The site dimensions are 20m x 20m.
- A 2meter interface zone applies between each of the court sites and the main court with which it is associated and is specific to each site as shown below.

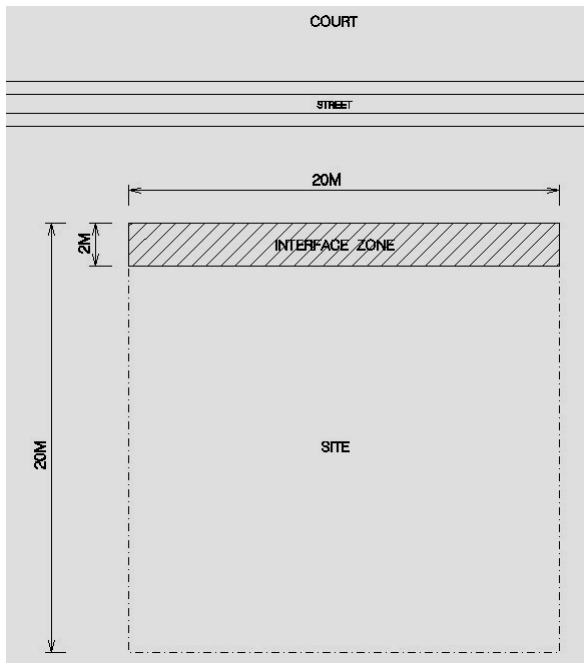


Figure E 1.3 - 1: Typical Site with Interface Zone



- No enclosed or habitable building area, including garages, should be located within the interface zone.
- A stoep (porch) or terrace should be provided along one long side of a Primary Building Form in the interface zone. It is strongly encouraged that the finished floor level of such a stoep be raised by between 600mm and 800mm above the finished ground level adjacent to the court.
- This porch or stoep should be a minimum of 1.5m deep.
- Stoep spaces should be shielded by a lean-to roof or pergola element.

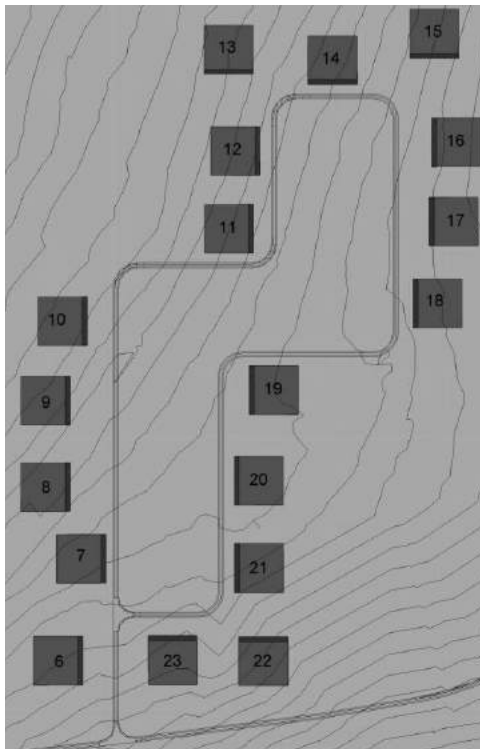


Figure E 1.3 - 2: Site Specific Interface Zones Shown Red Hatched

- One of the primary building forms of any dwelling should be parallel to the main court it faces.
- Maximum setback from erf boundary should be 3m.
- Site driveway access and garage/ carport frontage and visitors parking should be along the side boundaries and not facing the court. This is indicative as per Figure E 1.6.



1.3 Height Restrictions

- Front porch or "stoep" areas (facing the court) must be a minimum of 400mm above finished ground level, and a maximum of 1000mm above finished ground level.

1.4 Boundary & Werf Walls

- Low walling to define properties are encouraged. These walls can be a maximum of 1.2m high except if it is a yard wall.
- A maximum of 20% of the erf side boundaries may be walled with a yard wall with a maximum height of 2.1m above NGL or FGL at its highest point.

1.5 Access

In order to avoid vehicular access directly off the main access street, the driveway access to each court site should be to a particular side boundary. Each owner may contact the EA for more specific information regarding access.

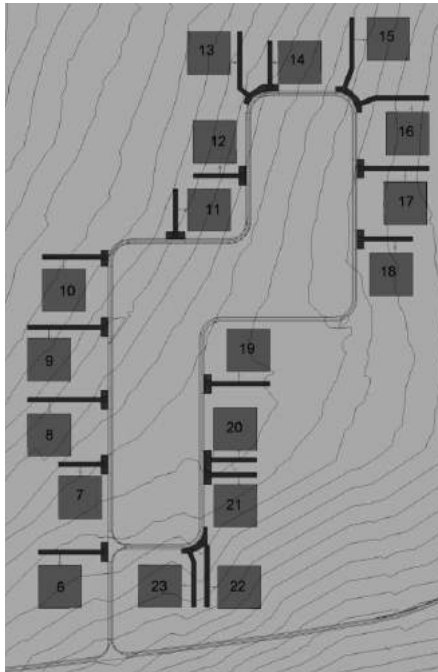


Figure E 1.6 : Suggested Site Specific Driveway Access to Court Sites Shown Red



1.6 Exclusive Use Areas:

- Each site has an exclusive use area around it of approximately 600sqm. The exclusive use area of each site is site specific and defined. Each owner may contact the EA for more specific information regarding access

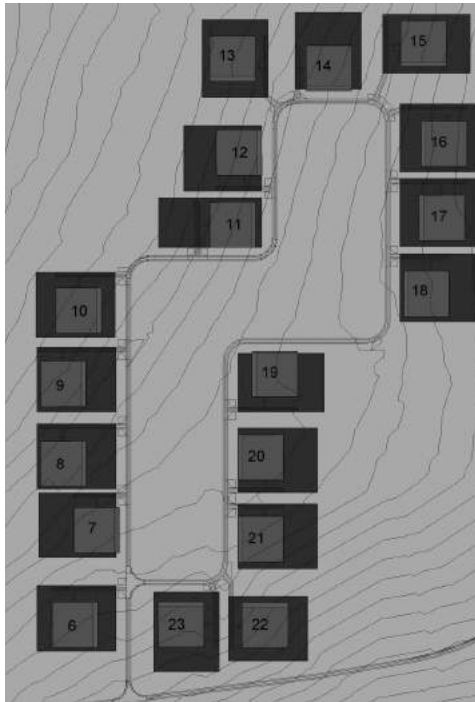


Figure E 1.7 : Exclusive Use Areas Shown Red



1.7 Court facing Exclusive Use Boundary Treatment.

Every site owner should fit 800mm high post and rail boundary fencing, to match the post and rail used elsewhere on the estate, along specific court facing exclusive use areas as shown below:

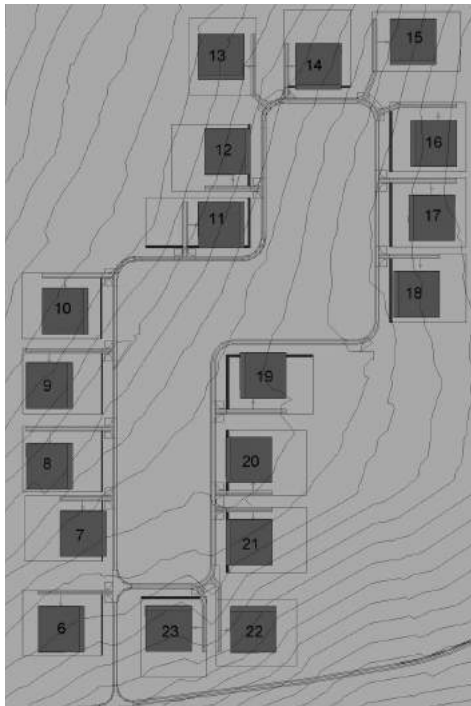


Figure E 1.8 : Suggested Extent of Post and Rail fencing to be fitted by owners shown in Red Line



2.0 Fynbos & Paddock Site Controls

2.1 Introduction

The Fynbos and Paddock Sites are orientated to take advantage of the majestic views to the Babilonstoring Mountains to the South and east, and Houwhoek Mountains to the North and west. No formal relationship will exist amongst these sites, as the sites are positioned and proportioned to follow the natural contours of the site.

Building form is to reveal some of the design principles of the Overberg's rural barns. A modern interpretation of these buildings will be encouraged.

2.2 Site specific controls

- The site dimensions are 22.2m x 18m
- Each site has an exclusive use area around it of approximately 600sqm.

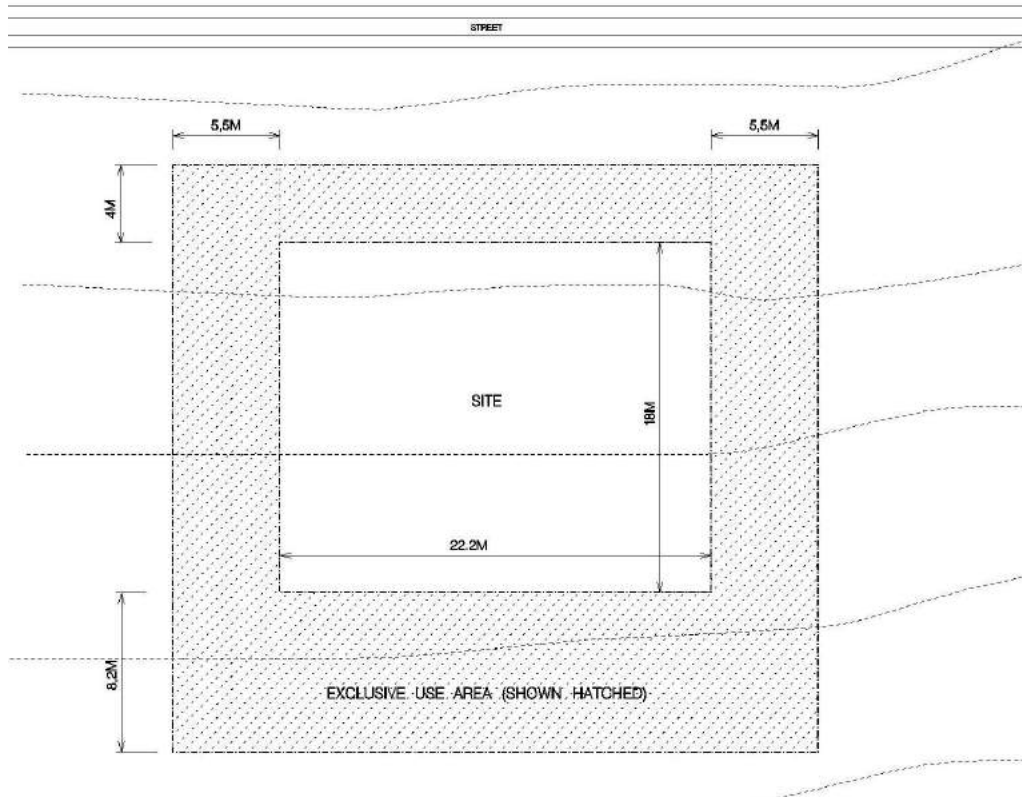


Figure E 2.2-1: Fynbos & Paddock Site with Exclusive Use Area



- Site driveway access including garage, carport and visitors parking frontage is restricted to the street facing boundary.

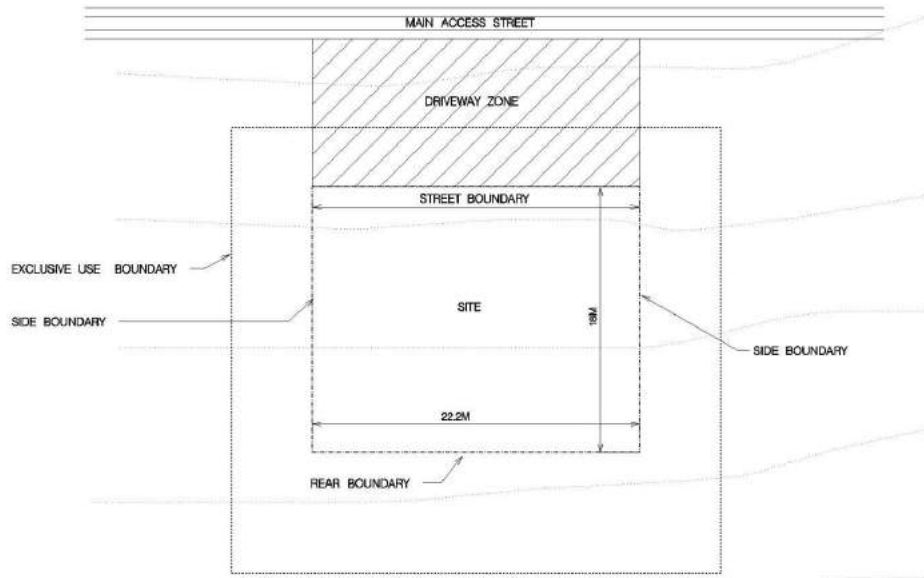


Figure E 2.2-2: Typical Fynbos & Paddock Site – Driveway Access zone

2.3 Retaining walls and Stepping

- The siting of buildings, terraces and gardens are to be planned in accordance with the slope of the site
- External changes in level shall be addressed by creating terraces with low retaining walls and steps or ramps.
- No single retaining wall, terrace, deck or stoep shall at any point exceed 1.5m height from natural ground level or finished ground level. Retaining walls, which exceed this height shall be terraced or stepped.



2.4 Primary Building Forms

- Primary building forms on Paddock and Fynbos sites must be placed parallel with the street and rear boundaries with the gables facing the side boundaries.
- Similarly the primary building forms are to be placed parallel to each other.

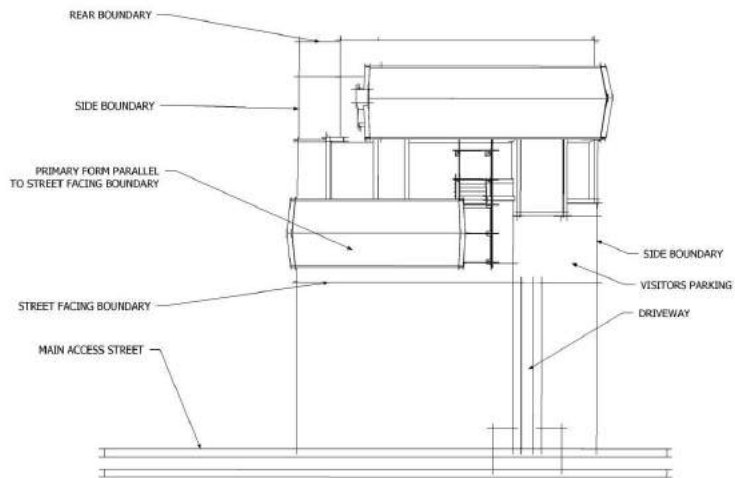


Figure E2.4 Typical Fynbos & Paddock Site House - Top View



F Roofs

1 Primary Building form roofs:

Refer to Primary Building Forms under Section D4 and C4.

2 Secondary building form roofs

- Lean-to and steep roofs must have a pitch of between 5° and 20°.
- Flat roofs must be hidden behind a parapet wall.
- Double Pitch roofs must have a pitch of 5° maximum.

3 Garage Roofs

Free standing or semi-detached garages should be roofed with a flat concrete or sheet metal roof concealed by parapet walls.

4 Gables & Eaves

- All gables to be expressed with parapet walls. No roof overhangs over gables are allowed.

5 Roof Lights and Roof Windows

Roof lights and roof windows are to be set into the plane of the roof.

6 Dormer windows

Dormer windows are permitted in primary building forms.

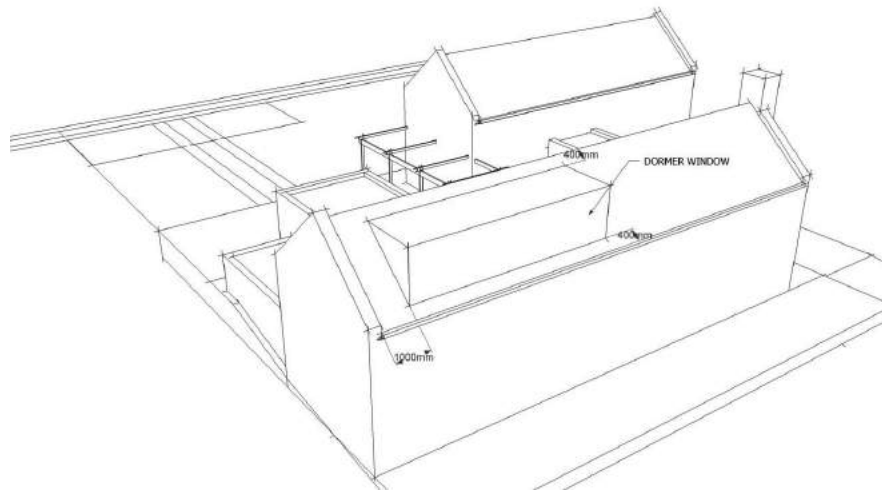
These should be horizontally proportioned.

The sides of dormer windows must stop 1000mm short of gable walls.

The top of dormer windows must stop 400mm short of the primary forms ridge.

The bottom of dormer windows must stop 400mm short of the eaves.

The sides of dormer windows are to be finished in sheet metal to match the roof or glazing.



7 Roof Materials & Colour

- Primary building form roofs are to be finished in pre-coloured S-profile corrugated metal sheeting (Zincalume colorbond or Chromadek or similar approved). Colours to be a selected shade of grey per dwelling.
- Secondary building forms may have exposed S-profile corrugated metal sheet roofing to match the primary building form. Where the sheet metal roof material is different to the material used on the primary building form, it must be concealed behind parapets.
- Glazing may be used on steep roofs, but must be limited to a portion of the roof
- Flat roofed areas are to be finished in natural stone-chip. Reflective finishes or aluminum paint are not allowed.
- No thatch roofs or thatch roofed gazebos will be allowed.



G Wall Construction and Finishes

1. Exterior Building Walls

- Walls to be constructed of clay brickwork. Robust wall construction, with external walls in excess of 300mm thick, is strongly encouraged.
- Facebrick in the form of bagged ROK matching the Clubhouse shall be permitted secondary building forms and secondary elements.
- All external masonry walls to be a minimum specification of 270mm cavity wall construction.
- All exterior walls to be plastered and painted to Primary Building Forms.
- Secondary building forms may be expressed as plastered or unplastered forms.
- 25% of the external walls of all building forms (including garages) may be constructed or dressed with natural stone, bagged brickwork painted or bagged ROK brickwork left exposed. This can be used to create a plinth or a feature walls and/or planters.
- Decorative plaster mouldings, quoins or rustication will not be permitted.
- Wall colours shall be selected from a colour palette specific to Maremma estate. Owners and their architects may contact the DRC for a colour card.

2. Gables and Gable Ends

- No elaborate gables or mock period gables will be allowed.
- All gables to be rectilinear rather than curved or arched, and must reflect the building roof form.
- Gable walls, including gable ends to the roofs of the main plan forms, to be constructed to read as robust walls of a minimum thickness of 350mm.
- Gable walls to be in the plane of the main walls. No freestanding or protruding gable walls will be allowed.

3 Chimneys

Chimneys are to conform to SANS 10400, specifically Part V. The following diagrams suggest options of chimney designs:

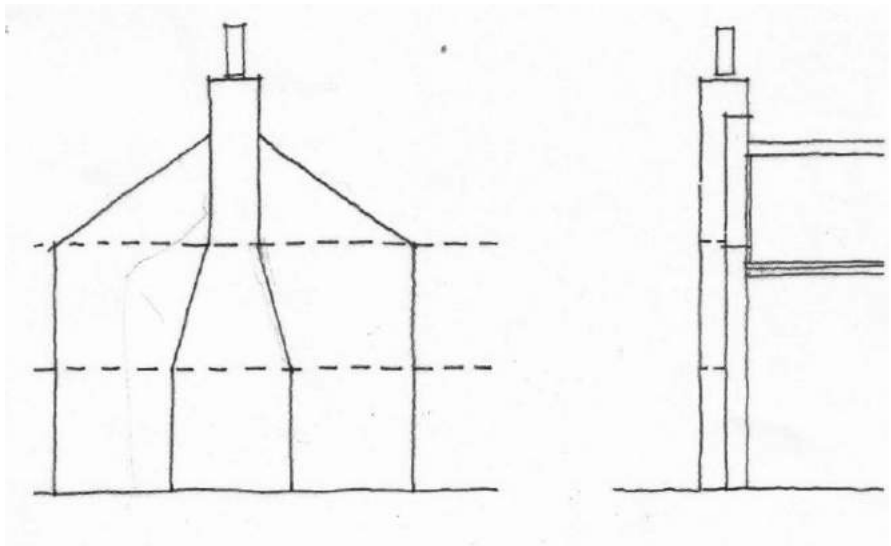


Figure F 3.1

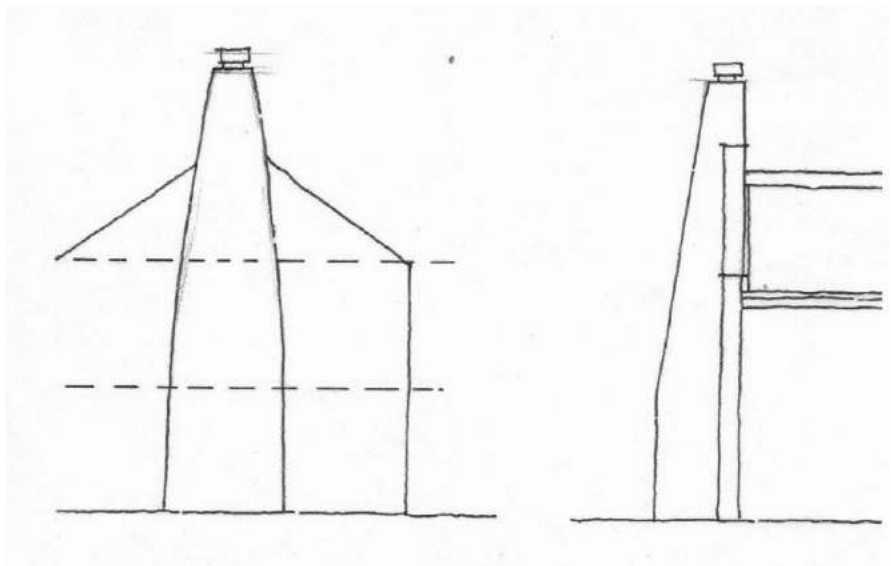


Figure F 3.2

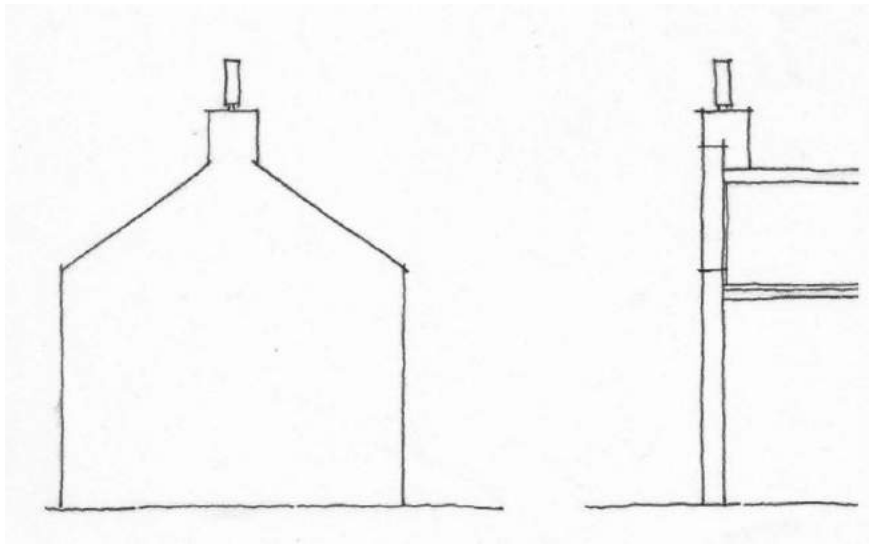


Figure F 3.3

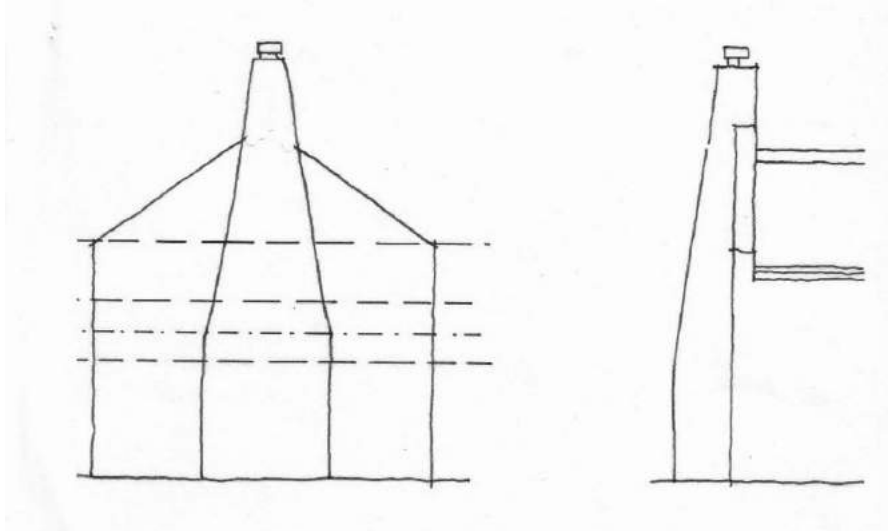


Figure F 3.4

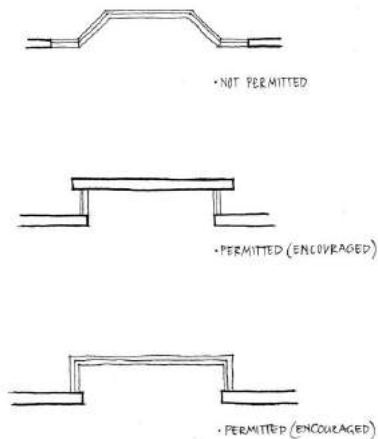


H Window Types and Finishes

In the design of fenestration it is intended that the sides of the barns should allow for large glass areas where the walls give way to glazing, to take advantage of the views, whilst other smaller windows are set within solid wall planes as “punctures/ apertures”. Gable walls are specifically to be treated as solid planes with only small punctures.

- 1 Windows are to be rectilinear. No arched or curved windows are allowed
 - 2 The following window specifications are specifically not allowed
 - (i) “Windblock” type window frames
 - (ii) Reflective glass
 - (iii) Cottage pane windows
- Splayed bay windows will not be permitted.

Figure G2: BAY WINDOWS PERMITTED AND NOT PERMITTED:



- Large areas of glass should be shaded by the use of pergolas and/or lean-to roofs (secondary elements)
- Materials may be natural or painted timber, epoxy coated or epoxy powder coated aluminium
- Colours are to be the same or of the same hue of colour as the wall colour if painted or powder coated aluminium or varnished/ oiled natural timber.



I Door Types and Finishes

- 1 All door openings to have rectilinear proportions. No arches will be permitted.
- 2 The following doors will not be permitted:
 - (i) Ornate and carved doors, except for the front door
 - (ii) Cottage pane frames
- 3 Garage Doors are to be of the horizontal or vertical slat type in either timber, aluminum or steel.
- 4 Materials may be natural or painted timber, epoxy coated or epoxy powder coated aluminum.
- 5 Colours are to be the same or of the same hue of colour as the wall colour if painted or powder coated aluminium or varnished/ oiled natural timber.

J Shutters

- 1 The use of shutters is strongly encouraged. Non-functional shutters will not be permitted.
- 2 The material and finishes to match the windows and doors of the house.

K Burglar Bars

- 1 Designs should be simple, without ornate detail. All designs are subject to review by the Design Review Committee.
- 2 No "Trellidoor" or similar metal security doors will be allowed externally.



L External Built Elements

1 Perimeter Fences and Boundary Walls

- Continuous boundary walls or fences on all boundaries shall not be more than 40% of that boundary. The placement of building components should be used to create enclosure and privacy of garden spaces. Landscaping should further be used to create privacy where required. If additional fencing is required, this should be of an agricultural nature.
- Fragmented walls, enclosing gardens and courts to either side of the main buildings, are encouraged. Low walls (max 1.5m high) should be used to create external “rooms” associated with and directly linked to buildings to form courtyards.
- Boundary fences are restricted to a maximum height of 1.8m. Where a level difference occurs in the finished ground level inside and outside the wall, the restriction is applicable to the greater height.
- No “vibracrete” walls will be allowed. The style of the fence shall either match the architectural style of the building, or match the aesthetic of the Estate, namely low plastered or stone walls, or robust plastered walls. All stonework is to be done by a stonemason approved by the estate/ developer. No artificial rock or stone tiles are to be used in lieu of genuine rock.
- Post and rail fencing is encouraged (to match the post and rail used on the estate) in combination with plastered brickwork and/ or stone walls or independently.
- All fences, screens or walls shall be submitted for the approval of the Design Review Committee.

1 Retaining Walls, Steps and Ramps

External changes in level shall generally be addressed by creating terraces with low stone retaining walls and steps or ramps. Terraces are to be constructed using dressed, random or dry-packed stone. Timber or sleeper retaining walls (unpainted) and timber retaining structures may be used, if planted using indigenous planting as per planting guidelines. No terraforce will be allowed. No stone cladding tiles will be allowed.

Retaining Structures:

The siting of buildings, terraces and gardens are to be planned in accordance with the sloping of the site.

No single retaining wall shall exceed 1.5m height. Soil to be retained that exceeds this height must be terraced and stepped back by at least 1m.



- Materials of retaining walls are to be natural stone. The walls may be built of stone or with stone facings to masonry backup wall. The stone may be laid in a random rubble or coursed rubble pattern with recessed cement mortar, or be dry packed stone.
- Unpainted treated pole retaining structures up to 1.0m may be used if planted with indigenous plants as per planting guidelines
- Finishes permitted on walkways and terraces are:

Granite or concrete cobble stones, clay brick pavers in approved colors, natural sandstone, slate, gravel, laterite, timber and exposed aggregate concrete.

All retaining structures of any nature shall be submitted to the Design Review Committee (DRC) for approval.

2 Stoeps & Pergolas

- Stoep and pergola posts may be masonry, timber or steel, or a combination of these. These secondary elements are to be simple in form and without imitation of Period Architectural styles.
- Colours are to match the windows and doors of the house or have natural timber finish, clear varnish/ or oiled timber finish.
- No Victorian cast iron “Broekie Lace” detail will be allowed. Louvered pergolas shall be permitted (colours need to match doors and window specification).

3 Timber Decks

- The maximum height of decks shall be 1.2m above NGL or FGL.
- Supports may be of the following types:

Double or single timber posts
Steel posts (colour charcoal grey/ black)
Natural stone piers

4 Balustrading

- Balustrades may be constructed from timber or steel or a combination of these materials.
- Designs are to be simple, without ornate detail. No ornate or criss-cross type balustrades are allowed.
- Individual designs are subject to approval of the Design Review Committee.



6 Waste Pipes

All drainage pipes except for low level stub stacks are to be concealed within walls, unless located within enclosed courtyards.

7 Rainwater Goods

Rainwater goods to be aluminum or pre-coated galvanized mild steel. Colours are to blend with the background surfaces. PVC downpipes are allowed, if painted to match the background colour.

8 Storm Water/ Drainage

Stormwater run-off is to be controlled in order to avoid soil erosion. All details of stormwater disposal including paving and landscaping are to be clearly stated in the building plans.

Pre-cast concrete channels will not be allowed. Where channels are required they shall be constructed in stone, brick or cobble.

Stormwater shall be dispersed in reeded/ grassed channels/ swales or be allowed to penetrate within detention areas/ reed-beds before entering dams in lieu of being piped underground.

9 External/ Outdoor Lighting

External lighting shall be kept to a minimum. Where required, lights shall be fixed to walls or columns or should be restricted to garden up-lighters. Garden uplighters shall be black. External lighting must be low level (no higher than 1m) and to provide downwardly directed light.

Generally, roads shall not be lit and courtyards and parking areas shall be minimally lit and restricted to entrance areas, where possible.

Lighting is to be provided by the owner at the junction of the driveway entrance to property with the main access road.

No illuminated signage shall be allowed.

All lighting shall be to the approval of the Design Review Committee

10 Signage, Lettering and numbering

No illuminated signage will be permitted



Lettering or numbers are to be a maximum of 150mm in height.

Numbering and signage shall be attached to the building or onto walls where possible and must be shown on building elevations.

11 Swimming Pools and Water Features

Water features and swimming pools are to be designed in the style and character of the estate. 'Rock' or 'beach' pools and artificial rock are inappropriate. Water features, fountains and pools should be used to link the internal with the external and cool internal and external spaces such as courtyards and verandahs.

All pools and water features shall form part of the approval process by the DRC.

Pool fences shall conform to National building regulations, but should be constructed from materials to match other fencing within the development portion. Off-the-shelf pool fencing shall not be allowed.

Pool colours are to be chosen from the following palette: black, charcoal grey, brown/ sand.

Backwash from the filter is to be dealt with in accordance with Local Authority regulations. Swimming pool pumps must be screened from view. The position of the pump is subject to approval by the Design Review Committee.

12 Outbuildings, Carports and other Utility Areas

'Wendy houses' and sheds shall not be permitted.

Single or double carports to are to match the roof of the garage or main house.

The supporting posts and roof of the carport will follow the same specifications as for covered stoeps/ pergolas.

13 Laundry and Refuse Areas

Laundry and refuse storage should remain fully concealed within courtyards. See Perimeter fences and boundary walls for restrictions regarding courtyards.

14 Alternative Energy and Building Methods

With Eskom's power supply problems, it has recently become Eskom policy that new developments implement energy saving methods.

To demonstrate their commitment to the implementation of energy saving methods the use of alternative energy is recommended as follows:



- All Maremmana landowners must incorporate a Solar Heated Hot Water System and or Heat Pumps in accordance with SANS10400 PartXA into their houses and make use of Gas Hobs for cooking.
- The HOA is concerned about the visible impact of water tanks and solar panels on roofs. Solar water heating systems on sloped roofs facing to the boundaries of a property should therefore be a split system with the water tank concealed in the roof void or elsewhere. It is suggested that the solar panels and water tank must be coloured to match background colours.
- The Solar Panels must be clearly shown and annotated on the drawings and the Design Review Committee must approve the design and placement thereof.
- The use of Solar Power Panels is further encouraged, particularly for supplying electricity to water pumping systems, and external landscape and building lighting.
- Gas installations to be done by a registered specialist in accordance with Addition 5 of SANS 10087 – 1:2008.
- Each house must be designed to reduce its power usage by carefully considered orientation, design and placements of openings.
- The use of solar heated water for underfloor heating is encouraged as opposed to the use of electrical under floor heating.
- Battery reserve power supply with inverters is recommended as a short term power supply in case of power failure.
- Generators will not be allowed.
- Only noiseless wind power turbines will be allowed.
- The HOA will support the use of environmentally friendly building methods such as recycled bricks, rammed earth, strawbale, cob, adobe blocks etc., yet the onus rests with the owners and their architects to ensure that these building methods comply to the requirements of statutory authorities.

15 Electricity Supply

Electricity supply from Eskom will be by pre-paid meters only.

All connections to the Eskom supply must be inspected and certified by one of the two Maremmana Estate appointed electrical contractors.

16 Other Services

Television aerials and satellite dishes are to be positioned as discretely as possible, below eaves, and subject to the approval of the DRC.



M Access

1. Vehicular Access/ Driveways

Driveways and paved or hard surfaced areas shall take into account any proposed road reserve trees and shall make allowance for a minimum area of 2x2m planting area surrounding any roadside tree.

Vehicular access to the site from the main access road will be the responsibility of the site owner. The driveway surface must be made of two concrete driveway strips, 600mm wide, to match the main access road with exposed aggregate at the junction as outlined below:

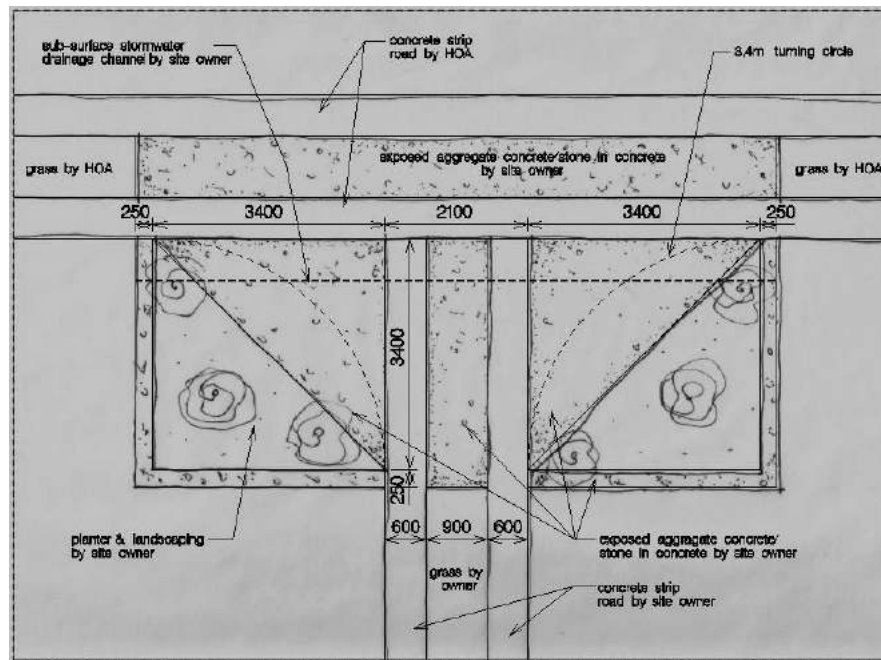


Figure M1 – Driveway Junction

Two visitors parking bays are to be provided on site in addition to garaging. These bays need to be accommodated within the site (not in the road reserve or exclusive use areas).

Driveways are to be left open to allow vehicles to turn.



Pedestrian access: All pedestrian paths shall conform to the paving materials listed below and shall match the material used elsewhere on the site.

2. Hard Surfacing Materials

- 2.1 All paving materials shall be chosen from an appropriate list of materials in keeping with the overall character at the estate. Gravel, approved brick, cobbles, laterite, stone and slate are examples of suitable materials.
- 2.2 Interlocking concrete pavers, concrete pavers, black tar and formal kerbs and channels in plain grey concrete will not be allowed. Brick, stone, or cobble channels will be encouraged.
- 2.3 Roads and driveways must match the rural character of the development. Paved courtyards shall be enriched by the use of attractive hard surfacing such as approved brick, sandstone gravel, stone and slate.
- 2.4 'Sleeper' pathways and timber log pathways and steps are acceptable. Timber decks, which do not protrude over building lines, and are constructed as close to the natural ground level as possible, are also acceptable.
- 2.5 Gravel/ stone chip may be used as an alternative to hard paving.
- 2.6 All paving materials and paving plans are to be approved by the Design Review Committee/ estate developer or HOA.



N Environmental/ Soft Landscaping Controls

1 Site Clearing

- 1.1 No trees or vegetation outside the building area of each site may be removed without approval of the Design Review Committee.
- 1.2 Damage to trees and vegetation on any land unit will be subject to penalties in accordance with the Environmental Management Plan.
- 1.3 Damage to trees and vegetation on Common Property will be subject to penalties in accordance with the Environmental Management Plan.

2 Planting Character

- 2.1 All trees and shrubs shall be indigenous locally and suited to the site. A list of proposed plants follows as a guide. No invasive alien or invasive exotic plants will be allowed anywhere on the estate. Shrubs and groundcovers shall be chosen in keeping with the style and character of the estate. The style may be loosely defined as indigenous and rustic.
- 2.2 Climbing plants and creepers shall be encouraged to cover walls, create shade under pergolas and climb buildings to soften hard edges and surfaces.
- 2.3 The use of informal hedges is encouraged.
- 2.4 Non-invasive lawn species should be used.
- 2.5 The use of 'tropical' plants such as palms, banana trees, Scheffleras, Phormiums, yuccas and/ or Strelitzia is seen to be inappropriate. The use of 'Mediterranean' plants such as cypresses and Bougainvillea is also discouraged.
- 2.6 Generally, the style should be informal.

Roadside and communal area planting:

All roadside planting and landscaping of the communal areas is to be undertaken by the MHOA. Individual owners are not to extend private gardens or landscaping into these areas.



2.7 Plant List

The following plant list must be selected from and is recommended for the sites at Maremma. They are indigenous both locally and some to the larger area but are suited to the development:

TREES

Apodytes dimidiata - white pear
Brabejum stellotofolium - wild almond
Brachylaena discolor - coastal silver oak
Buddleja salviifolia - sagewood
Celtis Africana - white stinkwood
Chionanthus foveolatus - common pock ironwood
Curtisia dentata - assegai
Cussonia thyrsiflora - Cape coast cabbage
Diospyros whyteana - bladder-nut
Dodonaea angustifolia (= *D. viscosa*) - sand olive
Ekebergia capensis - Cape ash
Erythrina caffra - coastal coral tree
Euclea sp. - Gharri trees
Gymnosparia buxifolia - common spike thorn
Halleria lucida - tree fuschia
Harpephyllum caffrum - wild Plum
Ilex mitis - Cape holly
Kiggelaria Africana - wild peach
Leucospermum conocarpodendron subsp. *viridum* - tree pincushion
Olea europaea subsp. *Africana* - wild olive
Olea capensis - Cape olive
Podocarpus latifolius - real yellowwood
Pittosporum viridiflorum
Rapanea melanophloeos - Cape beech
Rhus lucida - glossy current
Rhus Pendulina - white karee
Salix mucronata - cape willow
Sideroxylon inerme - white milkwood

Syzigium cordatum - water berry

Tarchonanthus camphoratus - wild camphor

Virgilia oroboides - keurboom

SHRUBS and GROUND COVERS

Albuca fragrans
 Anacardiaceae - *Rhus* species
Anisodonteia scabrosa - sand rose
Arctotis stoechadifolia - gousblom
Arotheca populifolia



Asparagus capensis
Babiana nana
Barleria obtuse - bush violet
Barleria rupens - small bush violet
Brunia albeiflora - coffee bush
Brunsvigia orientalis
Buddleja saligna - mock olive
Buddleja salvifolia - sagewood
Caesia contorta
Carissa macrocarpa - Matungula
Carissa bispinosa - Cape num-num
Carpobrotus acinaciformis
Carpobrotus edulis
Cassine aethiopica - Kooboo-berry
Cassine peragua - False saffron
Chlorophytum tricolorum
Chrysanthemoides incana
Chrysanthemoides monilifera - Bush-tick berry
Clutia daphnoides
Coleonema pulchellum - confetti bush
Colpoon compressum - Cape sumach

Conicosia pungioniiformis
Cybistetes longifolia
Diospyros glabra - Blueberry bush
Dymondia margaretae - carpet ganzania
Eriocephalus racemosus
Eriocephalus africanus - wild rosemary
Euclea racemosa
Eudea racemose
Euphorbia mauritanica
Euryops
Felicias
Ganzanias
Grewia occidentalis - Crossberry
Haemanthus pubescences
Helichrysums
Indigofera complicata
indigofera incana
Jordaanielle dubai
Lachenalia rubida
Lampranthus sp - vygie
Leonotis
Leucodendrons
Leucospermums
Lycium ferocissimum
Limonium peregrinum
Moraea setifolia



Myrica serrata - Lance leaved waxberry

Olea exasperata - dune olive

Othonna arborens

Pelargonium capitatum

Pelargonium gibbosum

Plumbago

Phyllica cephalantha

Polygala

Proteas

Psoralea pinnata - fountain bush

Pterocelastrus tricuspidatus - Candlewood

Putterlickia oyracantha

Restios

Rhamnus prunoides - dogwood

Rhus crenata - dune crow berry

Rhus glauca - blue kumi bush

Rhus laevigata

Rhus longispina - thorny taaibos

Ruschia macowani

Ruschia tumidula

Salvia africana - caerulea

Salvia africana - lutea

Salvias

Senecio aloides

Senecio halimifolius

Solanum guineense

Tecomaria capensis - cape honeysuckle

Tetragoania fruticosa

Trachyandras

Zygophyllums



O Fire Precautions

1. Due to the fynbos vegetation on the site, and the proximity to the buildings there is a higher than normal fire risk. Each owner should familiarize themselves with the position of hydrants and hose-reels on the development and with any rules and procedures lay down by the MHOA.
2. The flues of Fireplaces are to be fitted with brass mesh to prevent sparks escaping. Braai places shall be built with flues.
3. Four external taps must be fitted on the site with hoses able to reach the extent of the four corners of the exclusive use area of the site.



P Architectural & Landscape Review and Plan Submission Process

1 Sketch Design Submission (work stage 2) to the Design Review Committee

To facilitate the approval process by the MHOA, sketch plans should be submitted for approval prior to the preparation of the final submission drawings.

1.1 The following drawings and information is required for sketch design submission:

1:200 Current Surveyed Contour Plan

1:200 Site plan and Landscape Plan showing roof plan, boundary lines, exclusive use area, interface zone, contours, existing trees, trees to be removed, hard and soft landscaping, driveways (including the access road junction) paved areas, irrigation sleeves. The Landscape plan need not include a list of plants to be used but must include an undertaking that the plants outlined in the plant list will be used only.

Site Area Calculation

Coverage Calculation

1:100 Plans showing retaining walls, pergolas, terraces and stoeps/ verandahs.

1:100 Elevations and Sections and/ or 3 Dimensional Studies showing levels, heights, materials and finishes.

Site Number and North Point

Boundary Walls and Retaining Structures showing cut and fill.

1:200 Longitudinal section taken through slope of site and showing site boundaries, natural ground line, finished ground line and heights. Levels to be related to actual levels taken from Land Surveyors survey drawings.

The SACAP Pr Arch registration number of the person/ company that prepared the submission.

1.2 Two sets of the above documents are to be submitted to the EA.

1.3 A DRC submission and scrutiny fee of R3500.00, made out to Neel Saayman Architects cc, shall be required at sketch design submission and must be submitted to the EA with the above documentation.



2 Submission of Council Drawings to MHOA

- 2.1 Two sets of council submission drawings are to be submitted to the EA, prior to submission to the Municipality. These drawings may only be submitted, after the sketch design submission has been approved. The drawings need to comply with requirements of local authority, but should include the updated documentation as per the sketch design submission requirements with added information for local authority submission. It should also include the following:

An external finishes specification and the hard and soft landscaping proposed.
Stormwater drainage plan

- 2.2 Five sets of drawings need to be submitted to the EA. Two sets will be retained by the MHOA for their records. Three approved plans will be returned for submission to the local authority.

3 Local Authority Plan Approval

- 3.1 Drawings can be submitted to the building services department of Theewaterkloof Municipality (028-2143300). Submission are to be in terms of the National Building Regulations, the Local Authority Requirements and the NHBRC.

- 3.2 All submissions are to be the responsibility of the owner/ owner's architect.

- 3.3 Prior to work starting on site, the following information must be submitted to the EA:

2 copies of the Local Authority approved plans
site survey
signed CEMP (signed by owner and contractor)
signed builder's code of conduct (signed by the contractor)
revised finishes specification list, if changed
letter of notification of intent to access the site with start and completion dates



Q Disclaimers

- 1 This document is considered supplementary to the National Building Regulations (NBR) and cannot take precedence. Should any provisions of this document be regarded as contrary to the NBR, then the NBR shall prevail.
- 2 This document is considered supplementary to the Local Authority requirements and cannot take precedence. Should any provisions of this document be regarded as contrary to the Local Authority requirements, then the Local Authority requirements shall prevail, other than for the aesthetic or architectural approval.
- 3 This document is to be considered supplementary to the Home Owners' Constitution and cannot take precedence. Should any provisions to this document be regarded as contrary to the Homeowners' Constitution, then the Home Owners' Constitution shall prevail.