

Architectural & Urban Design Controls

Maremma Estate

Updated 1-June-2022



CONTENTS

| | | | |
|---|--|------|----|
| A | INTRODUCTION | page | 4 |
| B | VISION | | 4 |
| C | BUILT FORM | | 5 |
| D | DEFINITIONS & GENERAL RESTRICTIONS | | 6 |
| | 1 Statutory | | |
| | 2 Site Restrictions | | |
| | 3 Residential Unit Size Restrictions | | |
| | 4 General Building Form Restrictions | | |
| E | COURT SITE AND FYNBOS & PADDOCK SITE BUILDING FORM CONTROL | | 15 |
| | 1 Court Site Controls | | |
| | 2 Fynbos & Paddock Site Controls | | |
| F | ROOFS | | 21 |
| G | WALL CONSTRUCTION & FINISHES | | 23 |
| | 1 Exterior Building Walls | | |
| | 2 Gables and Gable Ends | | |
| | 3 Chimneys | | |
| H | WINDOW TYPES AND FINISHES | | 26 |
| I | DOOR TYPES AND FINISHES | | 27 |
| J | SHUTTERS | | 27 |
| K | BURGLAR BARS | | 28 |
| L | EXTERNAL BUILT ELEMENTS | | 31 |
| | 1 Perimeter Fences and Boundary Walls | | |
| | 2 Retaining Walls, Steps and Ramps | | |
| | 3 Stoeps and Pergolas | | |
| | 4 Timber Decks | | |
| | 5 Balustrading | | |
| | 6 Waste Pipes | | |
| | 7 Rainwater Goods | | |
| | 8 Stormwater and Drainage | | |
| | 9 External/ Outdoor Lighting | | |
| | 10 Signage, Lettering and Numbering | | |
| | 11 Swimming Pools and Water Features | | |
| | 12 Outbuildings, Carports and Other Utility Areas | | |
| | 13 Laundry and Refuse Areas | | |
| | 14 Alternative Energy | | |
| | 15 Electricity Supply | | |

| | | | |
|---|----|---|----|
| | 16 | Attachments to Dwellings & External Structures | |
| M | | ACCESS | 35 |
| | 1. | Vehicular Access/ Driveways | |
| | 2. | Hard Surfacing Materials | |
| N | | ENVIRONMENTAL / SOFT LANDSCAPING CONTROLS | 37 |
| | 1. | Site Clearing | |
| | 2. | Planting Character | |
| | 3. | Plant List | |
| O | | FIRE PRECAUTIONS | 40 |
| P | | PLAN SUBMISSION PROCESS | 41 |
| | 1 | Submission to the Design Review Committee | |
| | 2 | Submission of Council Drawings to the MHOA | |
| | 3 | Local Authority Plan Approval | |
| Q | | DISCLAIMERS | 42 |
| R | | EXPANSION OF COVERAGE FROM 175sqm OR 200sqm TO 260sqm | 43 |
| S | | TOWN PLANNING & HOMEOWNER CHECK LIST | 47 |

A Introduction

- 1 This document sets out the Urban Design, Architectural and Landscape Controls with which all Maremmana Estate Homeowners must comply for building at Maremmana. This document forms part of the Maremmana Home Owners Association (MHOA) Constitution referenced as Supporting Document AUDC.
- 2 In terms of the Agreement of Sale and the Constitution, Owners must submit their drawings to the Estate Architect for design approval, before submitting them to the local authority. Approval or rejection of the design is at the discretion of the Design Review Committee of which the Estate Architect is a member.
- 3 Alterations and additions to existing houses must also be submitted to the Estate Architect for scrutiny prior to submission to the local authority. Refer to the requirements for submissions at the end of this document.
- 4 The MHOA has the right to vary the requirements contained within this document subject to the approval of the local authorities.
- 5 The Owner and his Contractor will be subject to the provisions of the Builder's Contractors Code of Conduct which will be administered by the MHOA, and which will contain obligations and penalties for any breach of contract.
- 6 In this document the word "must" indicates mandatory provisions, while the word "should" indicates desirable and recommended provisions that may only be deviated from at the discretion of the Design Review Committee.

B Vision

The design philosophy for Maremmana is driven by the desire to create a contemporary rural community, enriched by a reference to traditional Cape spatial forms and architecture in a simple, yet sophisticated contemporary design context. It seeks to generate a synergy between the natural landscape, agricultural neighbours and a rural residential fabric.

The layout of the development is informed by the natural landscape and topography of the site and intended to retain the rural character of the area. The housing is located on the more private eastern portion of the site, enjoying spectacular views of the Babilonstoring Mountains, the Houwhoek Mountains and a central dam.

Buildings, whether in a formal or informal interrelation, are spaced generously, and limited in size and height to ensure the retention of a scale relevant to the rural setting, typical in this area. Low walls and water elements are used to define space and to delineate the transition from the public to the private. These design controls encourage simple architectural forms, with flat and pitched roofscapes over fragmented building plan forms. This will assist in defining the relationship between different private / semi-private, internal and external spaces, to create a richness in spatial hierarchy. The fragmentation of built form further ensures a minimal visual impact. The design controls aim to make reference to traditional Cape farm building forms yet encourage the simplicity of contemporary interpretation.



Traditional Cape Longhouse Building Form



Contemporary interpretation

The architectural and urban design controls (AUDC) are aimed at establishing an architectural and land pattern direction that will be implemented in balance with each site's attributes. Two main residential areas are identified which will have different aesthetic controls: the Court sites and the Fynbos & Paddock sites.

The architecture and landscaping for the development of the court sites envisages a formal or rectilinear relationship between the houses and the court. Simple traditional stoep elements create a transition from the public to the private. The intention is to create a strong sense of community in the streetscape and courts, without impeding the privacy of the sites. The suggested house types on these sites would be the simple L-plan, H-plan, U-plan or T-plan types.

The layout of the Fynbos and Paddock sites relate primarily to slope and views, and therefore have a less formal interrelation. Where the Court sites are situated on relatively flat land, the Fynbos and Paddock sites are situated on slopes overlooking the dam as well as views to the east.

The architecture seeks to marry elements of the traditional Cape rural town and of farmsteads of the area, while maintaining a contemporary freedom and interpretation. While building forms are to be pure with clear references to barn-type buildings and the simplicity of a rural architecture, the AUDC design controls encourage a modern interpretation of openings and spatial design, allowing buildings to open up and to integrate the internal spaces with the exterior courtyard or garden. The guidelines further encourage the extensive use of 'stoeps', timber pergolas, and shutters sympathetic to the topography, creating building footprints and roof forms that relate to the natural context and make reference to its time and place.

C Built Form

1. The designer should aim to position the house forms in such a way that it could create a sheltered garden or courtyard space which is protected from prevailing winds and which optimizes the views relevant to the site.
2. The plan forms used should be small and fragmented as opposed to large and monolithic, so that the shadows cast by the many planes minimize the visual impact of the dwelling on the slope of the hill.
3. House forms are to be composed of primary and secondary forms. Primary forms must have double pitched roofs with a rectangular plan form. Secondary forms abut or link primary forms and have concrete flat roofs or low pitch sheet metal roofing.
4. Primary roof forms must be parallel or perpendicular to the other Primary forms dependant on the site being a Fynbos & Paddock Site or Court Site respectively. These rectangular forms must

also be parallel or perpendicular relative to the boundary line. It is encouraged that Primary forms follow and step with the contours of the site.

5. The use of projecting decks, verandahs and eaves to shade walls and areas of glass, in order to soften the visual impact of the building, is encouraged.

D Definitions and General Restrictions

The following definitions and restrictions apply to both Court Sites and the Fynbos & Paddock Sites.

1 STATUTORY

1.1 Architectural & Urban Design Controls (AUDC)

It is this document and is defined as the document to control the nature and aesthetics of development at Maremmana Estate. It is put in place to ensure the protection, improvement and enhancement of the natural and built environment at Maremmana, in order to create an identity unique to Maremmana and its context. An informed design consistency and quality control in all residential units adds value to the estate.

1.2 Builder's Contractors Code of Conduct

Describes how controls are to be carried out on site and describes mitigation measures in detail. It is prescriptive, identifying specific individuals or organizations responsible for undertaking specific tasks, to ensure that impact on the environment is minimized during construction.

1.3 Estate Architect (EA)

Members wishing to build must contact the MHOA managing agents for details of the prevailing Estate Architect who is a professional architect registered with the South African Council for the Architectural Profession with a registered status of Professional Architect (Pr Arch) as may be appointed by the Trustee Committee from time to time;

The role of the Estate Architect is to ensure all build designs are in compliance with MHOA architectural controls. After design approval, the EA will conduct three scrutiny visits to the site being at:

1. At foundation level
2. Walls to roof level
3. Site completion

These meetings will be held with the Owner's Architectural Professional and/or Homeowner.

Sketch design drawings (work stage 2) must be submitted to the EA for approval prior to proceeding with work stage 3 drawings.

Developed design drawings (work stage 3) must be submitted to the EA for approval prior to proceeding with submission to the Local Authority.

A scanned copy of the builder's NHBRC registration certificate must be submitted to the managing agent with the signed Building Contractor's Code of Conduct agreement before works commence.

A scanned copy of the municipal approved drawing must be submitted to the EA for the record.

A scan of the Completion and Occupancy Certificates must be submitted to the EA for the record.

1.4 Trustee Committee Roles & Responsibility for AUDC

Having regard to the contents of the Architectural & Urban Design Controls, the Trustee Committee shall be entitled to:

1.4.1 Implement and enforce conditions on members in order to harmonise the architectural styles and design criteria, as well as the materials and colours to be used in all dwellings and buildings erected within the development, including any refurbishment, alterations, additions or changes to existing buildings;

1.4.2 Perform such acts as are necessary to accomplish the purposes expressed or implied herein which acts shall include, inter alia, the examination and endorsement of the relevant building plans as necessary for any construction, renovation and alterations within the development;

1.4.3 Delegate powers and functions to a Design Review Committee, of which the Estate Architect shall be a member;

1.4.4 Appoint such advisors as are necessary to scrutinize the relevant plans referred to herein; and

1.4.5 Impose a scrutiny fee on members for the services as mentioned herein.

1.5 Owner's Architectural Professional

Homeowners building at Maremma Estate must appoint an architectural professional to design, document and administer the construction of their project. An architectural professional means a person who is registered with the South African Council for the Architectural Profession (SACAP) whose credentials must be submitted on the drawings to the EA.

1.6 Local Authority

The local authority is the Theewaterskloof Municipality, Plein Street, Caledon (phone +27-28-214 3300).

Building submission drawings must be submitted to the local authority, after approval by the Maremmana Home Owners Association Design Review Committee as reviewed by the Estate Architect, and approved prior to construction.

2 SITE RESTRICTIONS

2.1 Site Diagrams

Means the diagram of any specific individual site, describing the site boundaries, exclusive use areas, access and any other restrictions imposed on the site.

2.2 Site Access & Egress

The location of access and egress is controlled and are specific to 'Court Sites' and the 'Fynbos & Paddock Sites'. This is dealt with specifically under these headings.

2.3 The Site

The site means the residential property that each owner at Maremmana has title to and is defined as a Court Site, Fynbos Site or Paddock Site, numbered 6 to 55. Each site is 400sqm in size. Notwithstanding access to the exclusive use as per clause 2.5 outside of the site, all construction and hard landscaping is strictly restricted to the confines of the boundaries within the 400sqm site.

2.4 Site Building Lines

A general 0m building line applies to all boundaries of all the sites. In other words, owners may build right onto the property boundary.

2.5 Exclusive use areas outside of the site

All sites are surrounded by an exclusive use area of 600sqm directly outside of the site boundaries.

No structures, other than pre-defined exclusive use boundary treatment, are allowed in the exclusive use areas. See the section of the AUDC specific to Court Sites and Fynbos & Paddock sites.

Exclusive use areas are intended for soft landscaping in accordance with the defined plant list. Homeowners are responsible for the maintenance and upkeep of the exclusive use area, but are not permitted to plant or irrigate any common land beyond the exclusive use area.

2.6 Site Coverage

Coverage is expressed as **a percentage of the stand that your built footprint covers**, being the ground floor footprint area. This includes all covered areas that are impermeable spaces such as entrance canopies and or patios. Coverage is regulated by the property zoning and the town planning scheme.

The maximum allowable coverage for any site is 65% as permitted by Theewaterskloof Town Planning such that the maximum allowable ground floor enclosed footprint and coverage is 260sqm.

Coverage is made up as follows:

- the maximum allowable ground floor enclosed footprint and coverage is 200sqm for the purposes of measuring maximum coverage; garages, storage, basements, boat houses or other free-standing enclosed structures shall be included.
- an additional 60sqm is permitted for coverage of stoeps, verandahs and carports which is limited to the ground floor.

Pioneer owners who completed houses when prior coverage was limited to 175sqm or 200sqm in prior periods have the opportunity to expand coverage to the new maximum permitted. All alterations are subject to EA and planning approvals. These owners should refer to the expansion section at the end of this document for the expansion controls.

2.7 Site Landscaping

Soft landscaping (planting) on the site is encouraged and should cover 15% of the site. Hard landscaping is discouraged and is limited to pools, yards, driveways, carports, stoeps/terraces, footpaths and decks.

2.8 Natural Ground Level (NGL) Survey

Each site must be surveyed prior to commencement of building works and finished floor levels indicated on the building plans are to relate to the natural ground levels.

The survey must accurately reflect the levels of the site it is intended to build on with contours shown at 500mm intervals.

The survey must be attached to building plans submission to the EA and will serve as the base information measuring height above natural ground level.

It is strongly recommended for all new Owners to conduct a geotechnical survey of their site prior to building.

3 RESIDENTIAL UNIT SIZE RESTRICTIONS

3.1 Each site must have one residential dwelling unit only.

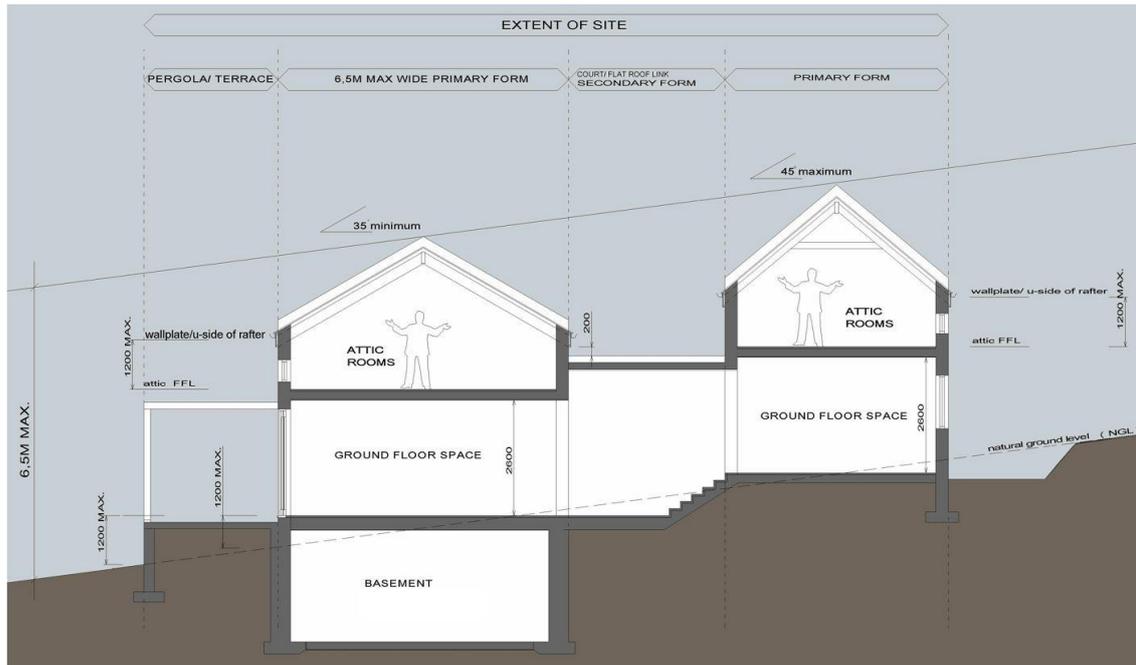
The size of a residential unit dwelling is 200square meters (sqm) enclosed ground floor footprint maximum and/or coverage, including garages and storage areas plus an additional 60sqm limited to the ground floor level for verandah and courtyard coverings and enclosures. This is the total coverage allowed on the property.

First floor space is allowed and is not included in the 200sqm limitation on ground floor, yet needs to be considered with the coverage calculation. The first floor space height at the eaves, is limited to 1.4m measured from the finished floor level of the first floor to the underside of the roof rafters, at the point where the rafter meets the wall plate on the inside face of the external wall of the Primary Building Form in question.

In order to ensure high quality spaces at Maremma Estate, the ground floor ceiling height in Primary Building Forms is suggested as 2,6m minimum height, above finished floor level except in kitchens, storage rooms, garages, sculleries and bathrooms.

A basement floor is allowed.

4 GENERAL BUILDING FORM RESTRICTIONS



Typical Section Drawing

4.1 2 Storey Limit:

All houses at Maremmana are to be depicted as single storey buildings in design expression, yet a second storey is permitted.

4.2 Height Restriction:

All buildings are restricted to 6.5m above the natural ground level of the site. No portion of the building, except chimneys, shall be higher than 6.5m above any point of the natural ground level immediately below it. Chimneys are to comply with SANS10400, specifically Part V.

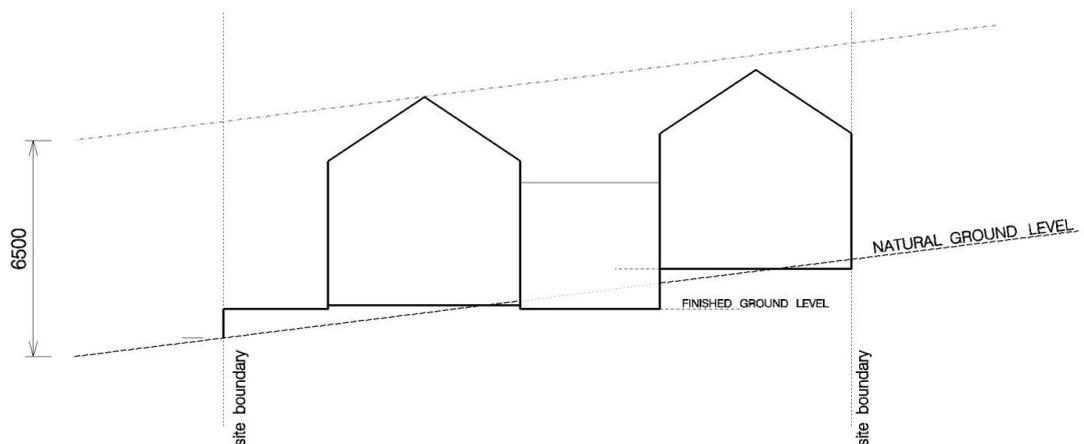


Figure 4.2: Maximum height above natural ground level

4.3 Finished Floor Level (FFL) to Natural Ground Level (NGL) and Finished Ground Level (FGL)

The internal finished floor level (FFL) is at no point to be more than 1.2m above natural ground level (NGL) and finished ground level (FGL).

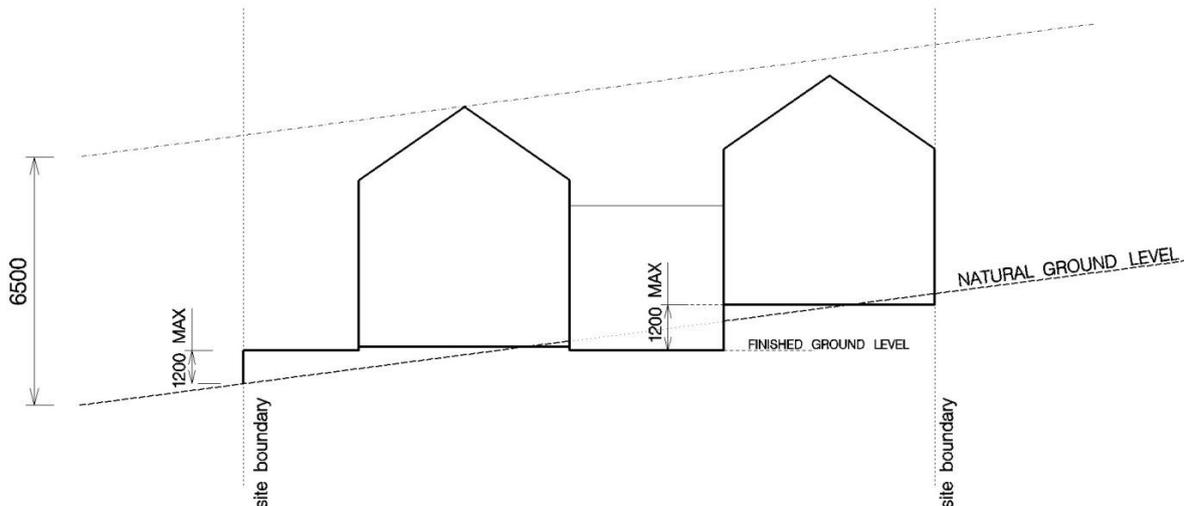


Figure 4.3: FFL above NGL and FGL

- **Basements**

No portion of a basement (measured to the finished floor level above the basement) may project more than 1.2m above natural ground level. A basement may not have an average height of more than 1m above natural ground level (measured to finished floor level above). A basement level is not considered as a building storey for the purposes of height restrictions, but is included in the calculation of physical height above natural ground level where applicable.

4.4 Primary Building Forms

Primary building forms are the main building elements that dominate the design of the house.

Each house must have at least one primary building form in its design.

They must have a symmetrically double pitched roof with a pitch of between 35 and 45 degrees.

In the case of Fynbos and Paddock sites, Primary Building Forms must be positioned parallel to each other and each primary form must be roofed individually.

In the case of Courtyard Sites, Primary Building Forms may form U-shapes, T-shapes, L-shapes and/ or H-shapes and Primary Building Forms may be linked directly to each other with hipped or valley roofs.

Primary Building Forms must be rectangular in plan form.

They must have a maximum width of 6.5m and a length which is a minimum of twice its width, measured externally.

Primary Building Forms may stand alone. If there is more than one Primary Building Form on a site, they must be linked to each other with secondary building forms in the case of Fynbos and Paddock sites.



Figure D 4.4.1

Primary Building Forms must have gabled ends.

Gables must be expressed with a parapet.

Openings in gables must be vertically proportioned.

The corners of gables must be of continuous masonry form and material and must not be interrupted by corner glazing.

Architects are encouraged to express fireplaces externally on the gable walls of Primary Building Forms.

Sides of Primary Building Forms should have large openings in the walls.

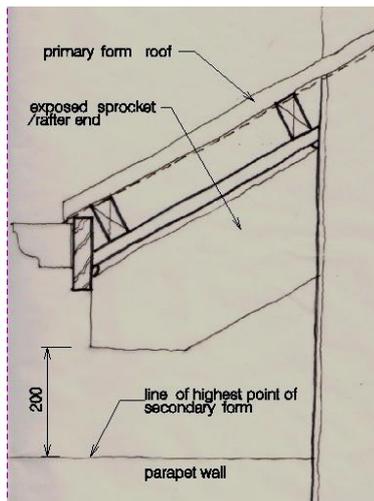
Wall openings wider than 1.2m must have a secondary element in front, over or next to it such as a pergola, screen or covered stoep/ deck. This does not apply to openings that do not face towards the site boundaries, such as openings that face onto internal courtyards.



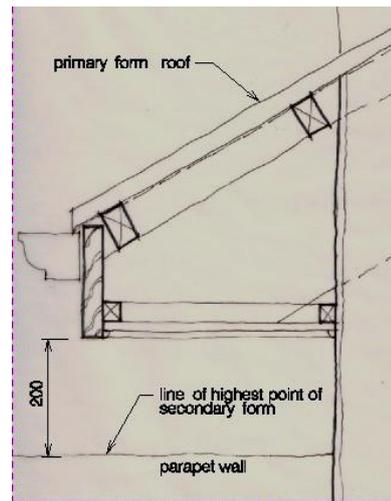
4.5 Secondary Building Forms

These are building forms attached to the Primary Building Forms and can be used to link Primary Building Forms (see figure D4.4.1)

The highest point of Secondary Building Forms must be no higher than 200mm below the eaves of a Primary Building Form.



Eaves with exposed rafter ends/ sprockets
Figure D 4.5



Conventional Eaves

In plan, a Secondary Building Form must be a minimum of 200mm away from a corner of a Primary Building Form.

Secondary Building Forms must have flat roofs or pitched roofs of which the pitch is 5 degrees maximum if it is a double pitch roof and 20 degrees maximum if it is a lean-to roof or steep roof.

Secondary Building Forms must not directly adjoin each other and must be attached to a Primary Building Form.

The opening size limitations requiring the addition of Secondary Elements do not apply to Secondary Building forms.

It is encouraged that the design expression of Secondary Building Forms, not just in form, but also in openings sizes and building materials be different to that of Primary Building Forms.

Garages may be expressed as Secondary Building Forms or incorporated within Primary Building Forms.

4.6 Secondary Elements

This refers to secondary architectural elements that are attached to Primary or Secondary Building Forms such as balconies, pergolas, screens, decks or stoeps/ terraces. Secondary Elements do not create complete enclosure, yet may provide cover or partial enclosure.

Secondary Elements must not directly adjoin each other and must be attached to a Primary Building Form and/ or a Secondary Building Form.

Examples of Secondary Elements:

- **Decks**
This is a timber external floor area, which is raised off the ground level on posts and projects out beyond the building perimeter and includes any railing enclosing it. Decks are at a level the same or lower than the level of the ground floor level from which it is accessed. If a deck is built on a solid base, restrictions applicable to stoeps apply.
- **Stoeps**
A constructed external floor area, which is raised off the ground level and lower than the adjacent ground floor level of the building form from which it is accessed.
- **Garden Terraces**
A level or platform created through either cutting or fill, which is not directly attached to the main building elements. Garden terraces refer to areas surfaced with hard or soft landscaping.
- **Pergolas**
- **Screens**



Figure D 4.6

E Court Sites and Fynbos & Paddock Site Building Form Control

General restrictions under section D above apply to all the sites, Court Sites and Fynbos & Paddock Sites.

Different residential areas have been identified within the residential section of Maremma Estate, and due to the location and visibility of these dwellings, some differences in urban design controls have been employed for each area. All general restrictions apply to these areas.

The two different areas are:

1. Court Sites



Example of a T-Shaped Courtyard House



Example of a U-shaped Courtyard House

2. Fynbos Sites and Paddock Sites



Example of a Fynbos and Paddock Site House



Figure E – Development site plan

What follows is a description for the area specific controls for these residential areas.

1. Court Site Controls

1.1 Introduction

The dwellings are positioned around two distinct court spaces of a public nature

The building form is to reveal some of the design principles of the Overberg's rural barns. All barns are to be rectilinear in form, with minimal stepping or breaking of the barn form. A modern interpretation of these buildings is strongly encouraged.

Restrictions noted below are over and above the general restrictions noted in section D.

1.2 Court Site Restrictions:

- The site dimensions are 20m x 20m.
- Site driveway access and garage/ carport frontage and parking bays should be along the side boundaries and not facing the court. This is indicative as per Figure E 1.6 below.
- One of the primary building forms of any dwelling must be parallel to the main court it faces. Note that given the flexibility of building shapes permitted (H, L, T, U-shapes) gables may also face part of the court to which it relates.

1.3 Height Restrictions

- Front porch or "stoep" areas (facing the court) must be a minimum of 300mm above finished ground level, and a maximum of 600mm above finished ground level.

1.4 Boundary & Werf Walls

- Low walling to define properties is encouraged. These walls can be a maximum of 1.2m high except if it is a yard wall.
- A maximum of 20% of the erf side boundaries may be walled with a yard wall with a maximum height of 1.8m above NGL or FGL at its highest point.
- Low 'werf walls' are permitted to define garden courts and boundaries to the exclusive use areas. These could be plastered and painted brick walls, bagged brick walls and /or natural stone walls 400 to 800mm high.



Fig E1.4 'Werf walls' are permitted to boundary treatment

1.5 Access

In order to avoid vehicular access directly off the main access street, the driveway access to each court site should be to a particular side boundary. Each owner may contact the EA for more specific information regarding access.

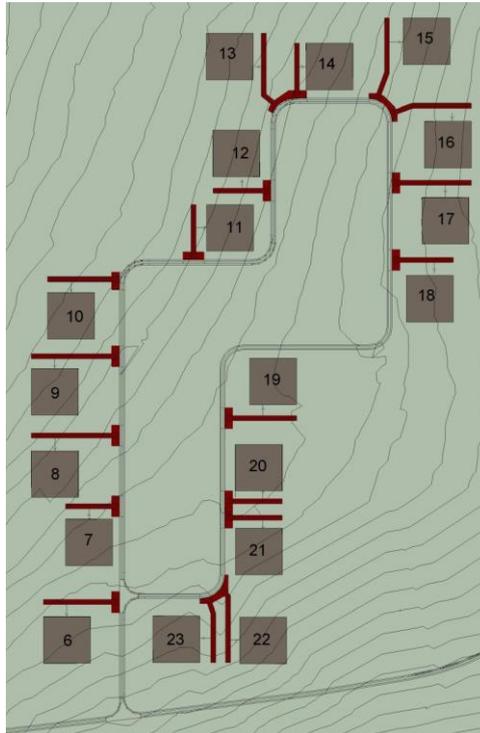


Figure E 1.6 : Suggested Site Specific Driveway Access to Court Sites Shown Red

1.6 Exclusive Use Areas:

Each site has an exclusive use area around it of approximately 600sqm. The exclusive use area of each site is site specific and defined. Each owner may contact the EA for more specific information regarding access.

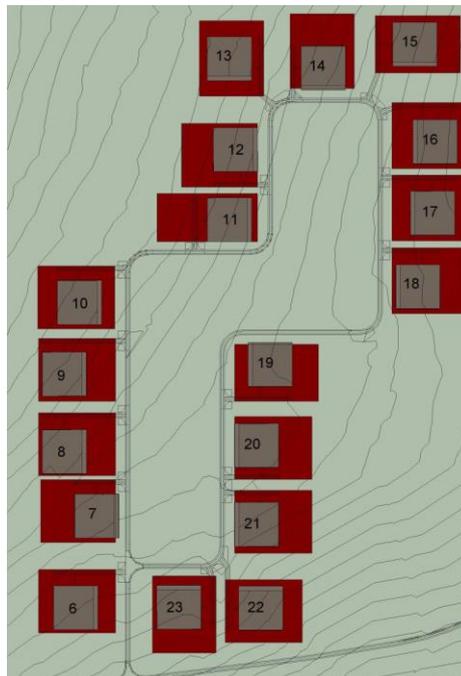


Figure E 1.7 : Exclusive Use Areas Shown Red

2.0 Fynbos & Paddock Site Controls

2.1 Introduction

The Fynbos and Paddock Sites are orientated to take advantage of the majestic views to the Babilonstoring Mountains to the South and East, and Houwhoek Mountains to the North and West. No formal relationship will exist amongst these sites, as the sites are positioned and proportioned to follow the natural contours of the site.

Building form is to reveal some of the design principles of the Overberg's rural barns. A modern interpretation of these buildings is encouraged.

2.2 Site specific controls

- The site dimensions are 22.2m x 18m
- Each site has an exclusive use area around it of approximately 600sqm.

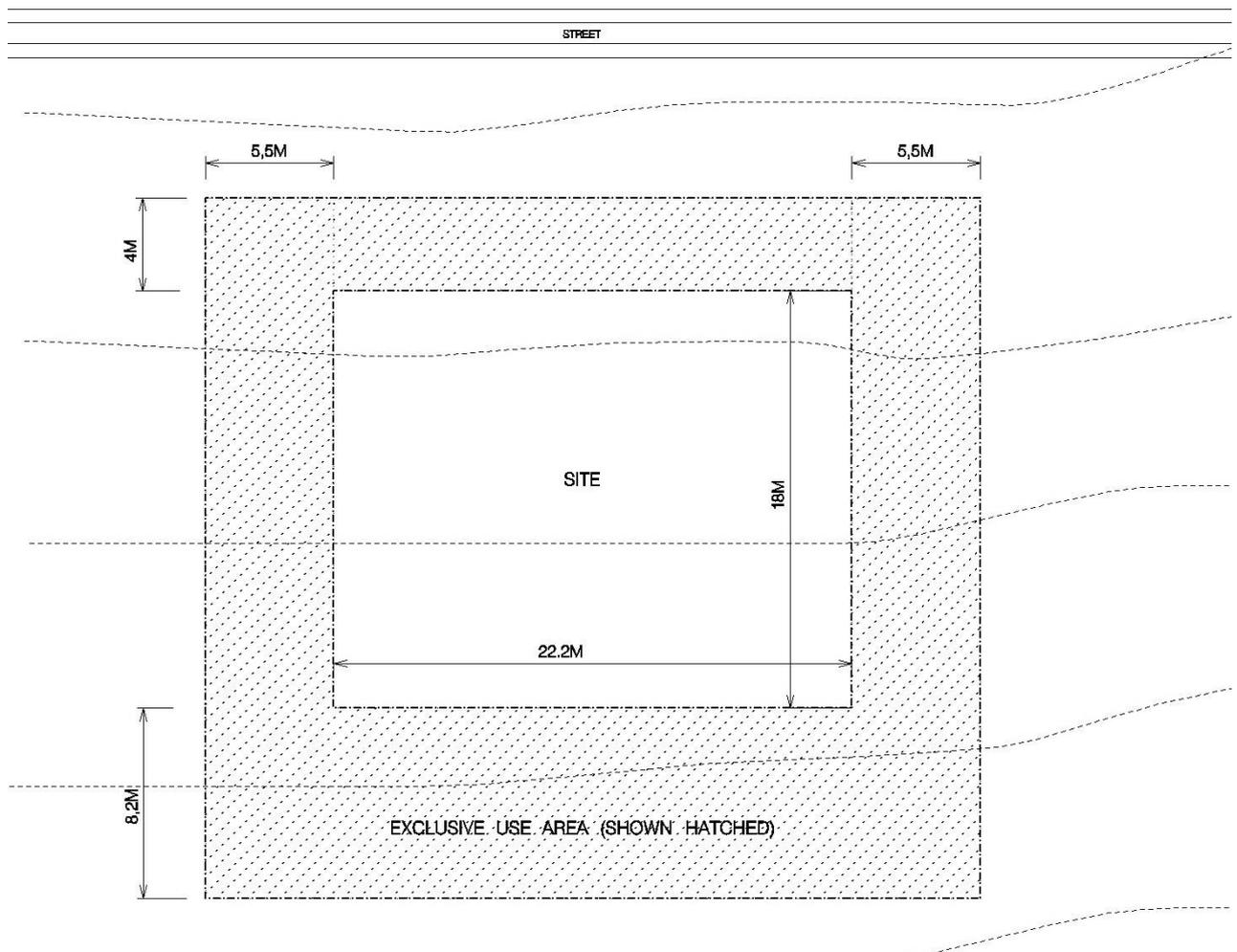


Figure E 2.2-1: Fynbos & Paddock Site with Exclusive Use Area

- Site driveway access including garage, carport and parking bay frontage is restricted to the street facing boundary.

- The construction of boundary walls to the exclusive use boundary are not permitted. Only post and rail-like fencing will be permitted. Landscaping to the edges of the exclusive use boundaries must be formed with berming and be sloped where necessary to appear as a continuation of the surrounding fynbos between sites.

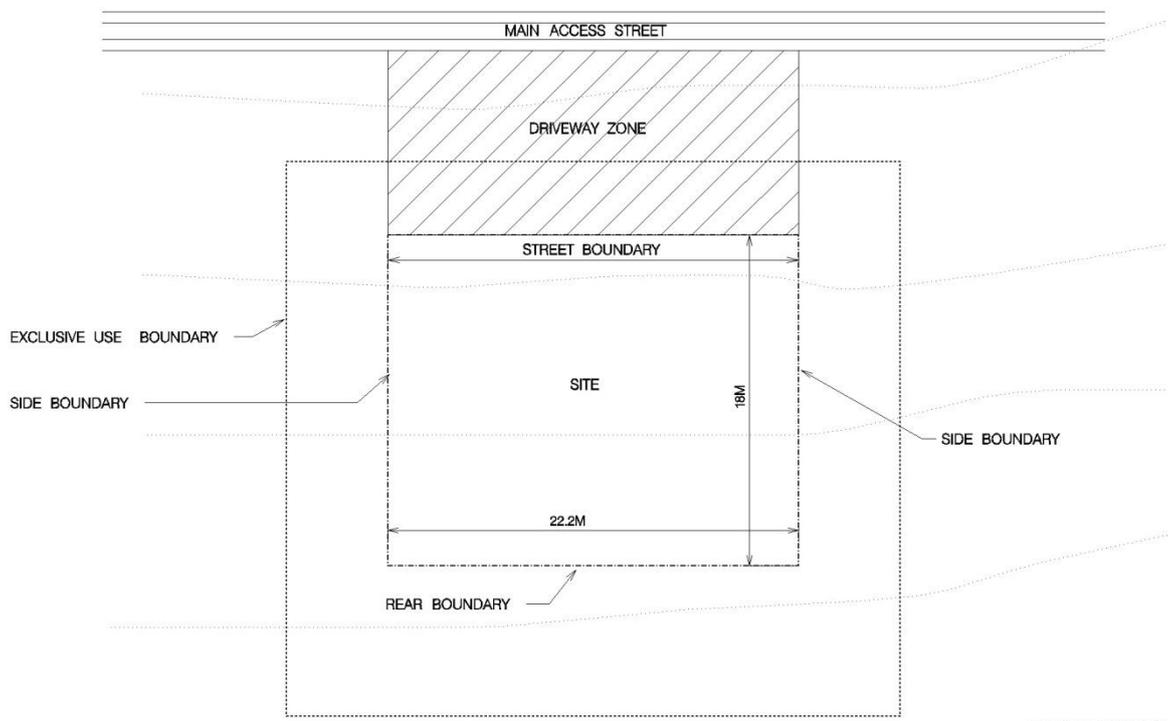


Figure E 2.2-2: Typical Fynbos & Paddock Site – Driveway Access zone

2.3 Retaining walls and Stepping

- The siting of buildings, terraces and gardens are to be planned in accordance with the slope of the site.
- External changes in level shall be addressed by creating terraces with low retaining walls and steps or ramps.
- No single retaining wall, terrace, deck or stoep shall at any point exceed 1.5m height from natural ground level or finished ground level. Any retaining walls which would exceed this height must be terraced or stepped.

2.4 Primary Building Forms

- Primary building forms on Fynbos and Paddock Sites must be placed parallel with the long boundaries of the site, with the gables facing the short side boundaries.
- Similarly the primary building forms are to be placed parallel to each other.

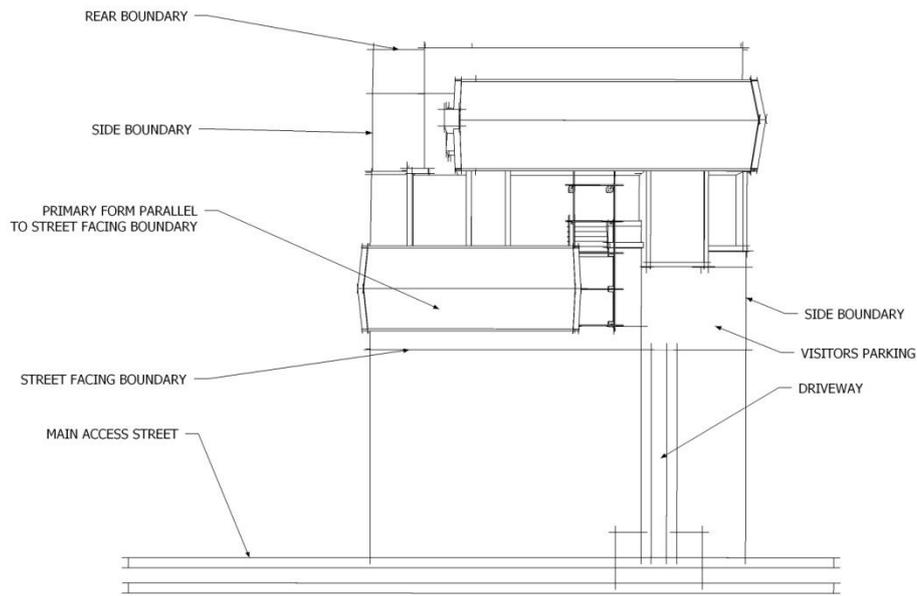


Figure E2.4 Typical Fynbos & Paddock Site House - Top View

F Roofs

1 Primary Building form roofs:

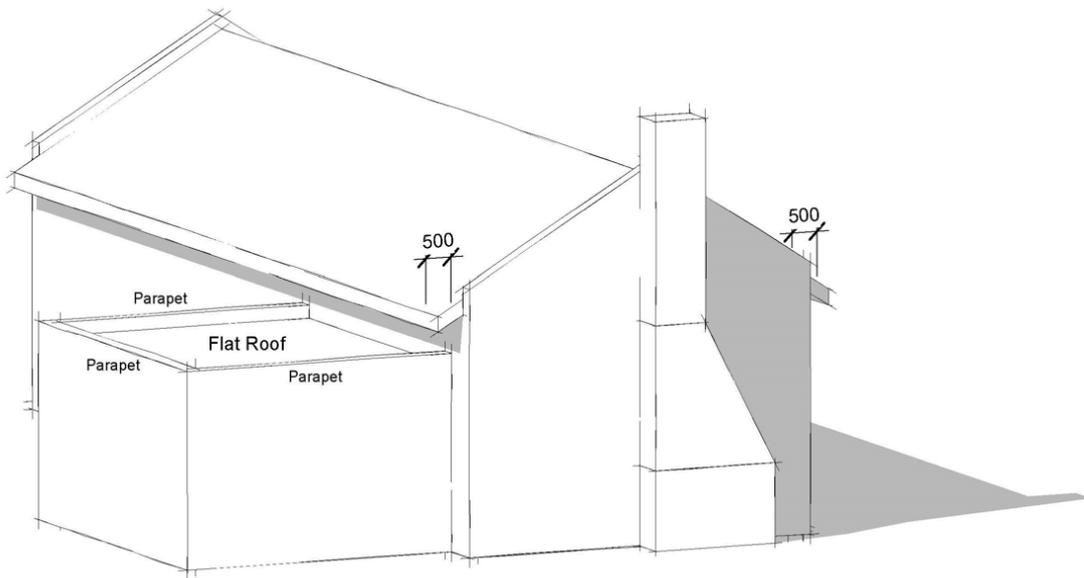
Refer to Primary Building Forms under Section D4 and C4.

2 Secondary building form roofs

- Lean-to and stoep roofs must have a pitch of between 5° and 20°.
- Flat roofs must be hidden behind a parapet wall on at least 3 sides with any exposed sides facing away from the access roads.
- Double Pitch roofs must have a pitch of 5° maximum.

3 Gables & Eaves

- All gables must be expressed with parapet walls. No roof overhangs over gables are allowed. However, roof overhangs are permitted on the long sides of primary and secondary building forms to a maximum of 500mm.
- Example of flat roof, parapet walls and overhangs illustrated below.
- Exposed eaves and roof sheets must be securely fastened using rivets and/ or additional fastening as a result of high winds locally.



4 Roof Lights and Roof Windows

Roof lights and roof windows are to be set into the plane of the roof.

5 Dormer windows

Dormer windows are permitted in primary building forms.

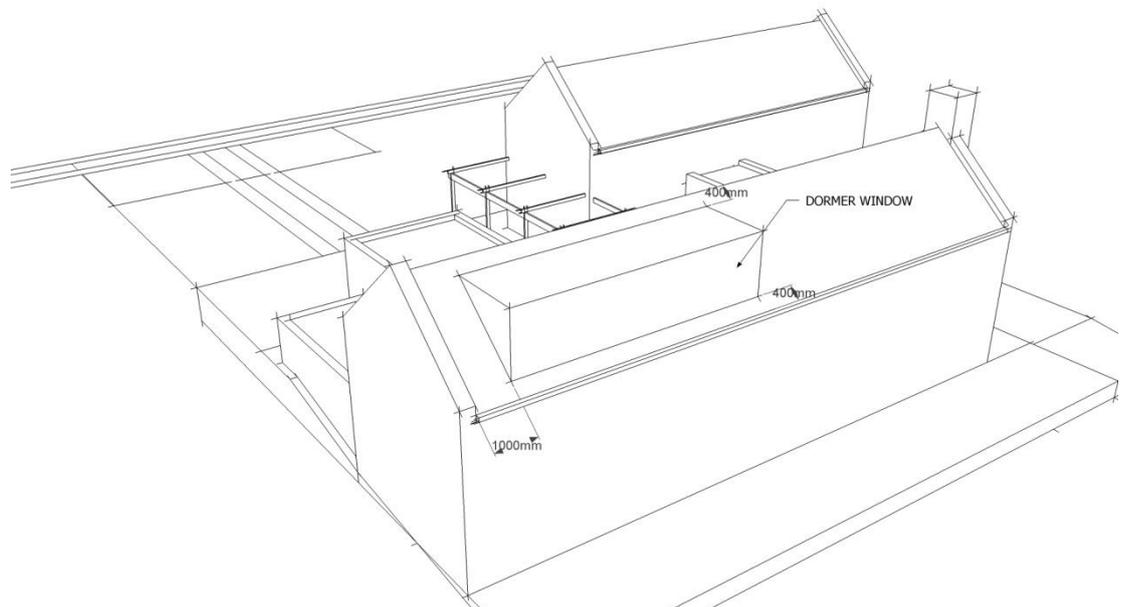
These must be horizontally proportioned.

The sides of dormer windows must stop 1000mm short of gable walls.

The top of dormer windows must stop 400mm short of the primary forms ridge.

The bottom of dormer windows must stop 400mm short of the eaves.

The sides of dormer windows must be finished in fibre cement or wood cladding, roof sheeting, or glazing to match the roof or other glazing.



6 Roof Materials & Colour

- Primary building form roofs must be finished in pre-coloured S-profile corrugated metal sheeting (Zincalume colorbond or Chromadek or similar approved). Colour must be a single shade of grey per dwelling.
- Secondary building forms may have exposed S-profile corrugated metal sheet roofing to match the primary building form. Where the sheet metal roof material is different to the material used on the primary building form, it must be concealed behind parapets.
- Glazing may be used on steep roofs, but is limited to one third of that roof.
- Flat concrete roofed areas must be finished in natural stone-chip. Reflective finishes or aluminum paint are not permitted.
- Thatch roofs or thatch roofed gazebos are strictly forbidden.

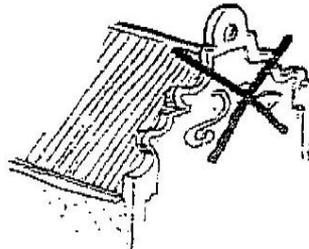
G Wall Construction and Finishes

1. Exterior Building Walls

- Walls must be constructed of clay brickwork. Robust wall construction, with external walls in excess of 300mm thick, is strongly encouraged.
- Facebrick in the form of bagged ROK (Run of Kiln, standard clay bricks that are bagged through using cement smearing over the bricks with a sponge and rags in order to achieve a “bagged” appearance) shall only be permitted to secondary building forms and secondary elements which must be either with a grey or white cement wash.
- All external masonry walls to be a minimum specification of 270mm cavity wall construction.
- All exterior walls to be plastered and painted to Primary Building Forms.
- Secondary building forms may be expressed as plastered or unplastered forms.
- 25% of the external walls of primary building forms may be constructed or dressed with natural stone, bagged brickwork painted or bagged ROK brickwork left exposed. This can be used to create a plinth, feature walls and/or chimneys. For clarity, on gable ends of primary forms, this is limited to chimneys. There is no limit to the use of these materials on secondary building forms.
- Decorative plaster mouldings, quoins or rustication are not permitted.
- Wall colours must be selected from the Maremma Estate colour palette. Homeowners and their architects may contact the managing agent for a colour card and details of authorized distributor(s).

2. Gables and Gable Ends

- Elaborate gables or mock period gables are not permitted. For clarity, an example of that not permitted is illustrated below.



- All gables to be rectilinear rather than curved or arched, and must reflect the building roof form.
- Gable walls, including gable ends to the roofs of the main plan forms, to be constructed to read as robust walls of a minimum thickness of 320mm.
- Gable walls to be in the plane of the main walls. No freestanding or protruding gable walls will be allowed.

3 Chimneys and Flues

Chimneys and flues are to conform to SANS 10400, specifically Part V. The following diagrams suggest options of chimney designs:

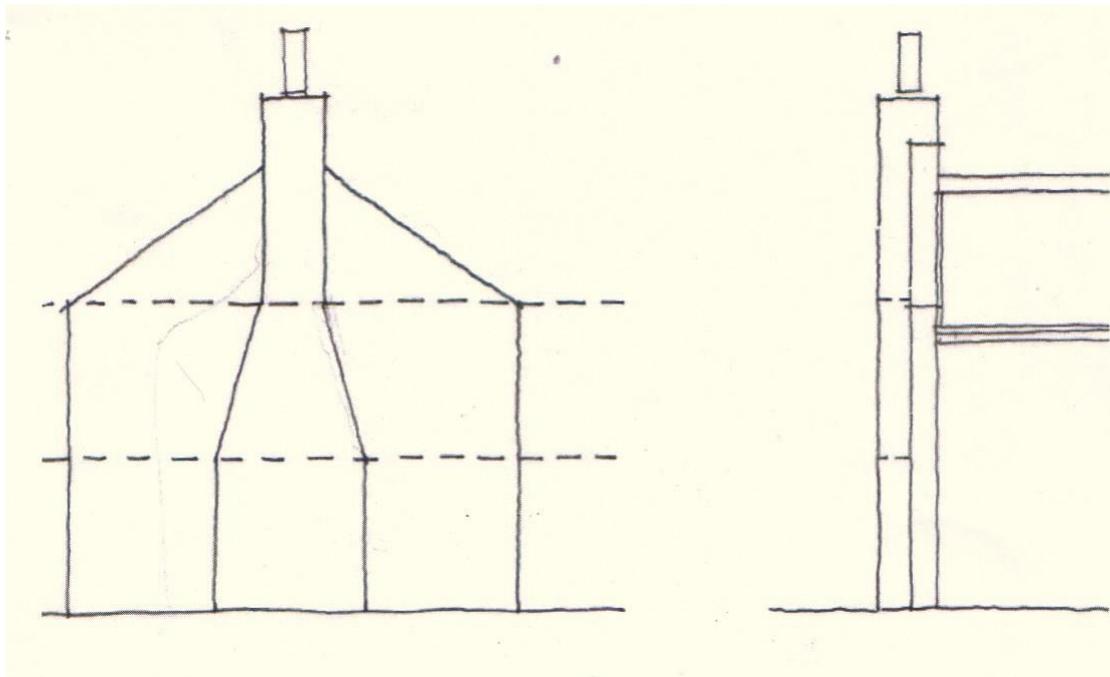


Figure F 3.1

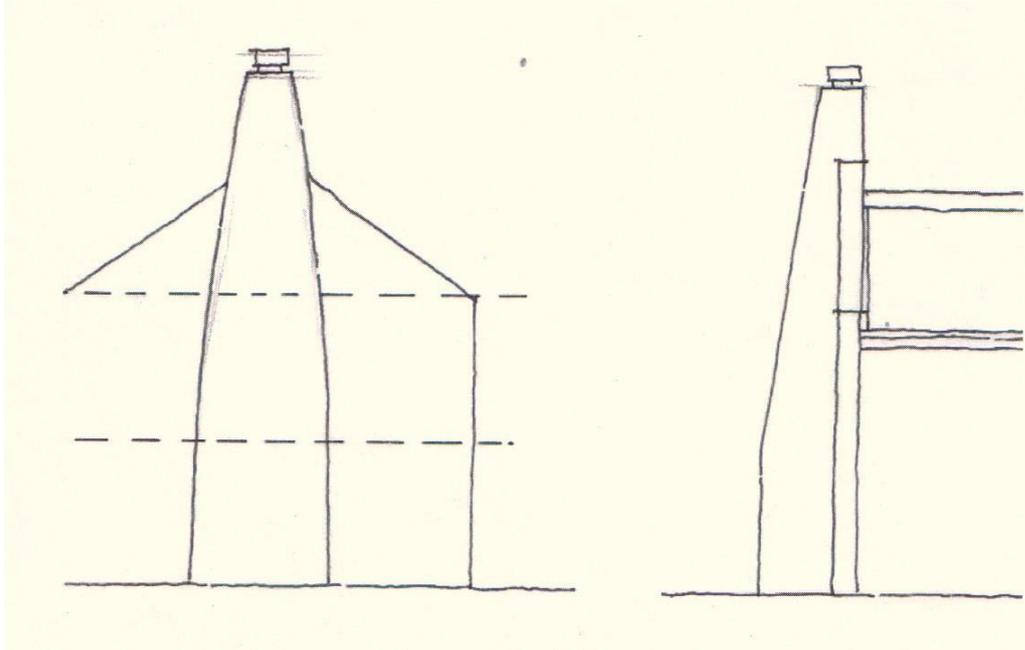


Figure F 3.2

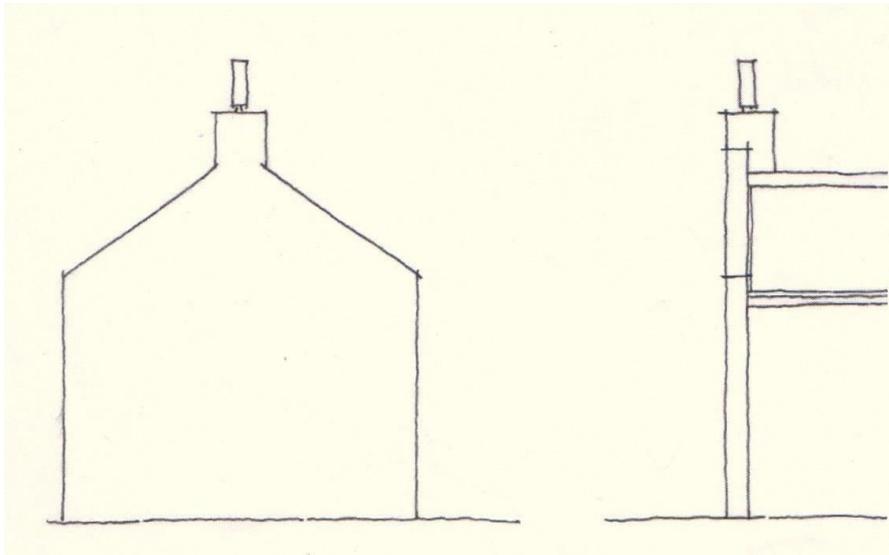


Figure F 3.3

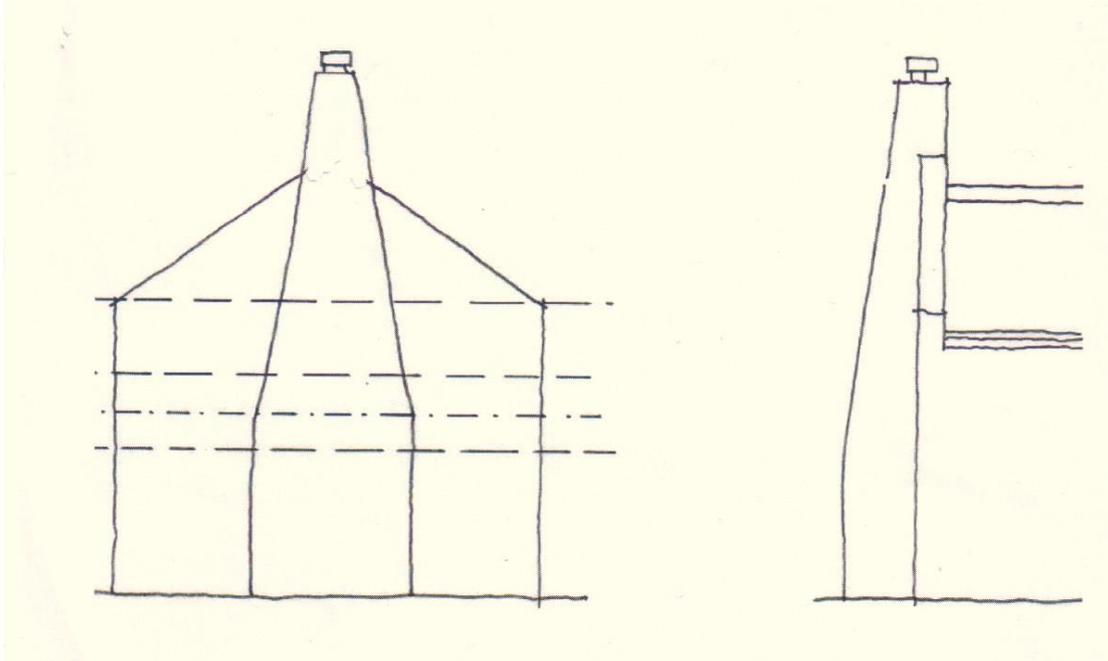


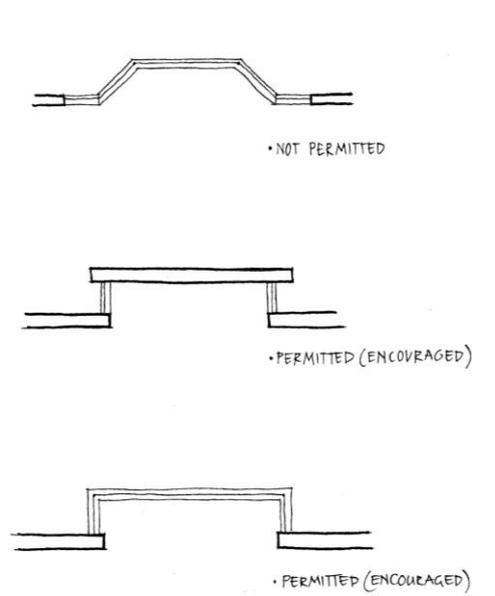
Figure F 3.4

H Window Types and Finishes

In the design of fenestration it is intended that the sides of the barns should allow for large glass areas where the walls give way to glazing, to take advantage of the views, whilst other smaller windows are set within solid wall planes as “punctures/ apertures”. Gable corners are specifically to be treated as more solid yet view related openings in the middle of gables will be allowed.

- 1 Windows are to be rectilinear. No arched or curved windows are allowed
 - 2 The following window specifications are specifically not allowed
 - (i) “Windblock” type window frames
 - (ii) Reflective glass
 - (iii) Cottage pane windows
- Splayed bay windows will not be permitted.

Figure G2: BAY WINDOWS PERMITTED AND NOT PERMITTED:



- Large areas of glass should be shaded by the use of pergolas and/or lean-to roofs (secondary elements)
- Materials may be natural or painted timber, epoxy coated or epoxy powder coated aluminum.
- Colours of window finishes are to be the same or of the same hue of colour as the wall colour if painted or if powder coated aluminum to match the roof colour or varnished/ oiled natural timber.

I Door Types and Finishes

- 1 All door openings to have rectilinear proportions. No arches will be permitted.
- 2 The following doors will not be permitted:
 - (i) Ornate and carved doors, except for the front door
 - (ii) Cottage pane frames
- 3 Garage Doors are to be of the horizontal or vertical slat type in either timber, aluminum or steel.
- 4 Materials may be natural or painted timber, epoxy coated or epoxy powder coated aluminum.
- 5 Colours are to be the same or of the same hue of colour as the wall colour if painted or if powder coated aluminum to match the roof colour or varnished/ oiled natural timber.

J Shutters

- 1 The use of shutters is strongly encouraged. Non-functional shutters will not be permitted.
- 2 The material and finishes are to match the window finishes and doors of the house, including colour so that if powder coated aluminum colour is to match the roof colour or varnished/ oiled natural timber.

K Burglar Bars

- 1 Designs must be simple, without ornate detail. All designs are subject to review by the Design Review Committee.
- 2 No “Trellidoor” or similar metal security doors will be allowed externally.

L External Built Elements

1 Perimeter Fences and Boundary Walls

- The maximum boundary wall or fence must not exceed three sides of the dwelling with the fourth side being the street facing side of the dwelling and driveway remaining unenclosed.
- For clarity, owners may enclose the exclusive use area or portion thereof keeping in mind that the exclusive use is MHOA common area that requires specific landscaping and conformance to the estate plant list.
- The placement of building components should be used to create enclosure and privacy of garden spaces. Landscaping should further be used to create privacy where required.
- Fragmented walls, enclosing gardens and courts to either side of the main buildings, are encouraged within the 400sqm site. Low walls should be used to create external “rooms” associated with and directly linked to buildings to form courtyards.
- Boundary fences and yard walls are restricted to a maximum height of 1.8m. Where a level difference occurs in the finished ground level inside and outside the wall, the restriction is applicable to the greater height.
- “Vibracrete” walls are not permitted. The style of any wall must match the architectural style of the building, or match the aesthetic of the Estate, namely low plastered or stone walls, or robust plastered walls. No artificial rock or stone tiles are to be used in lieu of genuine rock.
- Post and rail-like fencing with horizontal and vertical wooden poles and wire mesh must be used for any fencing (to match the post and rail used on the estate) in combination with plastered brickwork and/ or stone walls or independently.
- All fences, screens or walls must be submitted for the approval of the Design Review Committee.
- See notes on boundary treatment specific to Court site and Fynbos/paddock sites.

2 Retaining Walls, Steps and Ramps

External changes in level shall generally be addressed by creating terraces with low stone retaining walls and steps or ramps. Terraces are to be constructed using dressed, random or

dry-packed stone. Timber or sleeper retaining walls (unpainted) and timber retaining structures may be used, if planted using indigenous planting as per planting guidelines. Terraforce will not be permitted. Artificial stone cladding tiles are not permitted.

Retaining Structures:

The siting of buildings, terraces and gardens are to be planned in accordance with the sloping of the site.

No single retaining wall shall exceed 1.5m height. Soil to be retained that exceeds this height must be terraced and stepped back by at least 500mm.

- If using stone as materials for retaining walls, these must be of natural stone. The walls may be built of stone or with stone facings to masonry backup wall. The stone may be laid in a random rubble or coursed rubble pattern with recessed cement mortar, or be dry packed stone.
- Unpainted treated pole retaining structures up to 1.0m may be used if planted with indigenous plants as per planting guidelines
- Finishes permitted on walkways and terraces are:

Granite or concrete cobble stones, clay brick pavers in approved colors, natural sandstone, slate, gravel, laterite, timber and exposed aggregate concrete.

All retaining structures of any nature must be submitted to the Design Review Committee (DRC) for approval.

3 Stoeps & Pergolas

- Stoep and pergola posts may be masonry, timber or steel, composite materials or a combination of these. These secondary elements are to be simple in form and without imitation of Period Architectural styles.
- Colours are to match the windows and doors of the house or have natural timber finish, clear varnish/ or oiled timber finish.
- No Victorian cast iron "Broekie Lace" detail will be allowed. Louvered pergolas are permitted (colours need to match doors and window specification) and to be considered within coverage restrictions.

4 Timber Decks

- The maximum height of decks is 1.2m above NGL or FGL.
- Supports may be of the following types:
 - Masonry
 - Double or single timber posts
 - Steel posts (colour charcoal grey/ black)
 - Natural stone piers
- Decks of composite materials are permitted.

5 Balustrading

- Balustrades may be constructed from timber or steel or a combination of these materials.
- Designs are to be simple, without ornate detail. No ornate or criss-cross type balustrades are allowed.
- Individual designs are subject to approval of the Design Review Committee.

6 Waste Pipes

All drainage pipes except for low level stub stacks are to be concealed within walls, unless located within enclosed courtyards.

7 Rainwater Goods

Rainwater goods may be aluminum or pre-coated galvanized mild steel or PVC. PVC downpipes are only permitted if painted to blend with the background surfaces. Pre-coloured metal downpipes must match the colour of the roof and gutter.

8 Storm Water/ Drainage

Stormwater run-off is to be controlled in order to avoid soil erosion. All details of stormwater disposal including paving and landscaping are to be clearly stated in the building plans.

Pre-cast concrete channels will not be allowed. Where channels are required they must be constructed in stone, brick or cobble.

Stormwater shall be dispersed in reeded/ grassed channels/ swales or be allowed to penetrate within detention areas/ reed-beds before entering dams in lieu of being piped underground.

9 External/ Outdoor Lighting

External lighting must be kept to a minimum. Where required, low wattage lights must be fixed to walls or columns or restricted to garden up-lighters. External lighting must be discreet and to provide upwardly and downwardly directed light only (i.e. no outward facing beams). Horizontally facing, high power or wide beam lighting is not permitted.

Motion sensor lighting is permitted only for security reasons (equipped with PIR passive infrared).

Generally, roads shall not be lit and courtyards and parking areas shall be minimally lit and restricted to entrance areas, where possible.

All lighting must be included as part of plan design submission for approval by the Design Review Committee.

10 Signage, Lettering and numbering

No illuminated signage will be permitted.

Lettering or numbers are to be a maximum of 150mm in height.

Numbering and signage shall be attached to the building or onto walls where possible and must be shown on building elevations.

11 Swimming Pools and Water Features

Water features and swimming pools are to be designed in the style and character of the estate. 'Rock' or 'beach' pools and artificial rock are not permitted. Water features, fountains and pools should be used to link the internal with the external and cool internal and external spaces such as courtyards and verandahs.

All pools and water features must form part of the approval process by the DRC. For clarity, any pool must be located within the 400sqm and not within the exclusive use area.

Pool fences must conform to National building regulations protected by either a fence or wall of minimum 1.2m high with self-closing gate and that a net or cover must be installed. The pool fence must be constructed from materials to match other fencing within the estate. Off-the-shelf pool fencing is not permitted.

Pool colours must blend with the environment preferably black, charcoal grey, brown/sand and not be bright colours, White is not permitted.

Pool covers must follow the same colour principles as the pool being darker in colour to blend with the environment. Pool nets are permitted in blue or black.

Backwash from the filter is to be dealt with in accordance with Local Authority regulations. Swimming pool pumps must be screened from view. The position of the pump is subject to approval by the Design Review Committee.

12 Outbuildings, Carports and other Utility Areas

'Wendy houses' and sheds are not permitted.

The supporting posts and roof of the carport will follow the same specifications as for covered stoeps/ pergolas.

13 Laundry and Refuse Areas

Laundry and refuse storage must not be visible to other members and should be fully concealed within courtyards, garages or other enclosed spaces. The use of screened or designated drying yards for laundry and refuse is strongly encouraged. See Perimeter fences and boundary walls for restrictions regarding courtyards.

14 Alternative Energy and Building Methods

Eskom policy is for new developments to implement energy saving methods. As such the following rules apply for all dwellings at Maremmana:

- All Maremmana homeowners must incorporate a Solar Heated Hot Water System and/or Heat Pumps in accordance with SANS10400 PartXA into their houses and make use of Gas Hobs for cooking.

- The MHOA is concerned about the visible impact of water tanks and solar panels on roofs. Solar water heating systems on sloped roofs facing to the boundaries of a property should therefore be a split system with the water tank concealed in the roof void or elsewhere. Solar panels and water tank colours must blend in with background colours as much as possible.
- The Solar Panels must be clearly shown and annotated on the drawings and the Design Review Committee must approve the design and placement thereof.
- The use of Solar Power Panels is further encouraged, particularly for supplying electricity to water pumping systems, and external landscape and building lighting.
- Note that the use of copper water pipes for internal water pipes is strongly discouraged as a result of the high acidity in the water. Owners are also highly recommended to consider the use of domestic water filters/ and or water treatment.
- Gas installations to be done by a registered specialist in accordance with Addition 5 of SANS 10087 – 1:2008.
- Each house must be designed to reduce its power usage by carefully considered orientation, design and placements of openings.
- The use of solar heated water for underfloor heating is encouraged as opposed to the use of electrical under floor heating.
- Battery reserve power supply with inverters is recommended as a short term power supply in case of power failure.
- Only sound attenuated generators will be permitted.
- The MHOA will support the use of environmentally friendly building methods such as recycled bricks, rammed earth, strawbale, cob, adobe blocks etc., yet the onus rests with the owners and their architects to ensure that these building methods comply to the requirements of statutory authorities.

15 Electricity Supply

All connections to the Eskom supply must be inspected and certified by the Maremma Estate appointed electrical contractor(s).

16 Attachments to Dwellings & External Structures

Any external attachments or separate structures must form part of the architectural scrutiny in the pre-construction phase or if installation is post-construction, requests must be made in writing to the Design Review Committee with a description, drawing and/or plan as may be necessary to fully define the requests. The Design Review Committee may attach reasonable conditions to their approval.

- The installation of telecoms, internet, broadcasting and other satellite services is permitted. Television aerials and satellite dishes are to be positioned as discretely as possible.

- External awnings are permitted provided the colour and design is in accordance with the Maremmana colour palette.
- Other external attachments such as, but not limited to, air conditioning units or water filters must be covered where possible to minimize impact on estate aesthetics.
- Separate structures, including children's playhouses or jungle gyms in gardens must be in line with the rural character and style of Maremmana.
- The erection of gazebos, free standing garden or tool sheds and wendy houses are strictly prohibited;
- No flags, flagpoles or amateur radio masts may be erected on any Portion.
- The use of any kind of shade netting, other than on building sites is prohibited.
- Any external paraphernalia including, but not limited to decorations, decorative lights, drapes, bunting, umbrellas may only be of a temporary nature.

M Access

1. Vehicular Access/ Driveways

Driveways and paved or hard surfaced areas shall take into account any proposed road reserve trees and shall make allowance for a minimum area of 2x2m planting area surrounding any roadside tree. Only a single driveway is permissible that may lead to an apron for a double garage opening.

Vehicular access to the site from the main access road will be the responsibility of the site owner. The driveway surface must be made of two concrete driveway strips, 600mm wide, to match the main access road with exposed aggregate at the junction as outlined below in Figure M1 Natural stone from the estate landscape may also be used as in the concrete driveway strips, but is not mandatory.

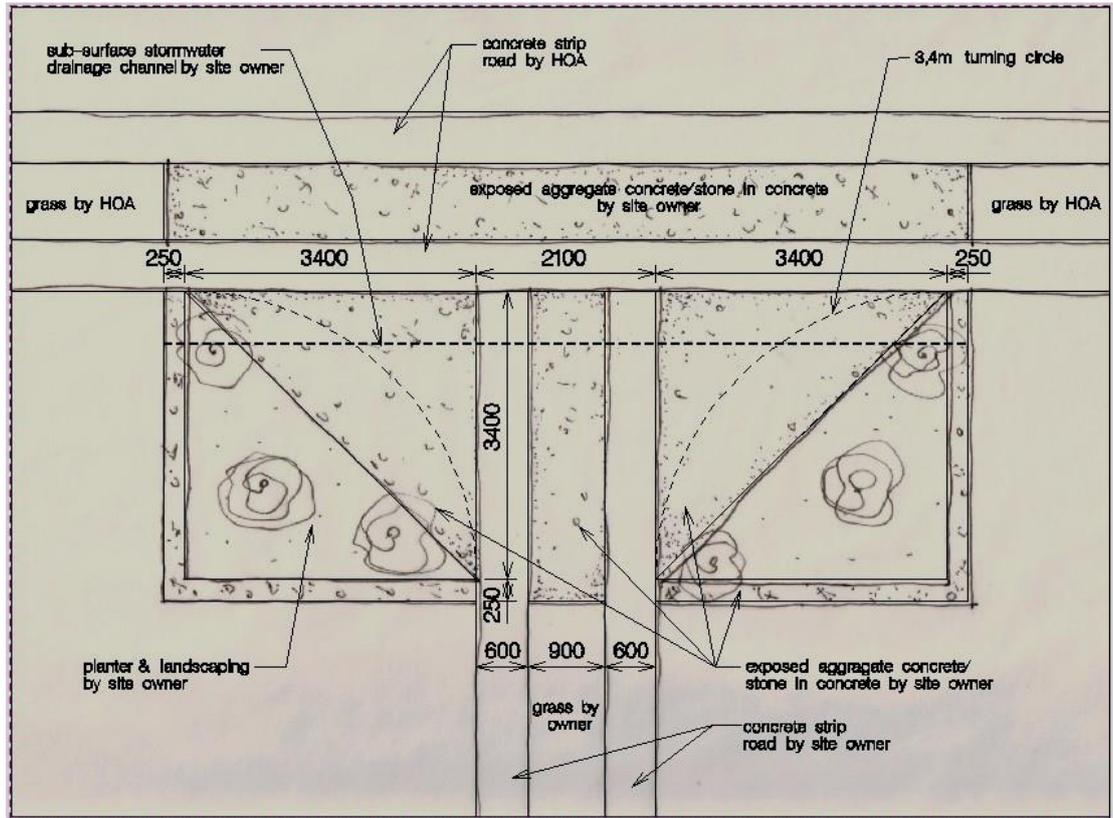


Figure M1 – Driveway Junction

Two parking bays are to be provided on site in addition to garaging. These bays need to be accommodated within the site (not in the road reserve or exclusive use areas).

Driveways are to be left open to allow vehicles to turn.

Pedestrian access: All pedestrian paths shall conform to the paving materials listed below and shall match the material used elsewhere on the site.

2. Hard Surfacing Materials

- 2.1 All paving materials must be chosen from an appropriate list of materials in keeping with the overall character at the estate. Gravel, approved brick, cobbles, laterite, stone and slate are examples of suitable materials.
- 2.2 Black tar and formal kerbs and channels in plain grey concrete are not permitted. Brick, stone, or cobble channels are encouraged. Interlocking concrete pavers and exposed aggregate concrete pavers are permitted.
- 2.3 Roads and driveways must match the rural character of Maremma. Paved courtyards may be enriched by the use of attractive hard surfacing such as approved brick, sandstone gravel, stone and slate.
- 2.4 'Sleeper' pathways and timber log pathways and steps are acceptable. Timber decks, which do not protrude over building lines, and are constructed as close to the natural ground level as possible, are also acceptable.

- 2.5 Gravel/ stone chip may be used as an alternative to hard paving.
- 2.6 All paving materials and paving plans are to be approved by the Design Review Committee.

N Environmental/ Soft Landscaping Controls

1 Site Clearing

- 1.1 No trees or vegetation outside the building area of each site may be removed without approval of the Design Review Committee.
- 1.2 Damage to trees and vegetation on Common Property will be subject to penalties.

2 Planting Character

- 2.1 All trees and shrubs must be indigenous, and specifically indigenous locally to the Overberg and Western Cape which are best suited to the site as per planting list. No invasive alien or invasive exotic plants will be allowed anywhere on the estate. The use of any self-seeding plants is not permitted. Shrubs and groundcovers must be chosen in keeping with the style and character of the estate. The style may be loosely defined as indigenous and rustic.
- 2.2 Climbing plants and creepers are encouraged to cover walls, create shade under pergolas and climb buildings to soften hard edges and surfaces.
- 2.3 The use of informal hedges is encouraged.
- 2.4 Non-invasive lawn species must be used. The exclusive use area may be planted with lawn provided it is strictly a non-invasive species and must be interspersed with indigenous shrubs and other foliage. For clarity, Buffalo (*Stenotaphrum secundatum*) and Cape Kweek (*Cynodon Dactylon*) lawn species are permitted. Kikuyu Grass (*Pennisetum clandestinum*) is strictly not permitted.
- 2.5 The use of 'tropical' plants such as palms, banana trees, Scheffleras, Phormiums, yuccas and/ or Strelitzia is seen to be inappropriate. The use of 'Mediterranean' plants such as cypresses and Bougainvillea is also discouraged. For clarity, any such vegetation is strictly prohibited in the exclusive use area.
- 2.6 For clarity, any vegetable garden or other non-indigenous planting may only be planted within the 400sqm site.

Roadside and communal area planting:

All roadside planting and landscaping of the communal areas will be undertaken only by the MHOA. Individual owners must not extend private gardens or landscaping into these areas including planting on driveways that traverse common land. Owners must rehabilitate the exclusive use area after house construction has been completed in accordance with the planting list.

- 2.7 Plant List

The following plant list must be selected from and is recommended for the sites at Marenmmana. They are indigenous both locally and some to the larger area and are suited to the environmental conditions of the development:

TREES

Apodytes dimidiata - white pear
Brabejum stellotofolium - wild almond
Brachylaena discolor - coastal silver oak
Buddleja salviifolia - sagewood
Celtis Africana - white stinkwood
Chijonanthus foveolatus - common pock ironwood
Curtisia dentata - assegai
Cussonia thyrsoiflora - Cape coast cabbage
Diospyros whyteana - bladder-nut
Dodonaea angustifolia (= *D. viscosa*) - sand olive
Ekebergia capensis - Cape ash
Erythrina caffra - coastal coral tree
Euclea sp. - Gharri trees
Gymnosparia buxifolia - common spike thorn
Halleria lucida - tree fuschia
Harpephyllum caffrum - wild Plum
Ilex mitis - Cape holly
Kiggelaria Africana - wild peach
Leucospermum conocarpodendron subsp. *viridum* - tree pincushion
Olea europaea subsp. *Africana* - wild olive
Olea capensis - Cape olive
Podocarpus latifolius - real yellowwood
Pittosporum viridiflorum
Rapanea melanophloeos - Cape beech
Rhus lucida - glossy current
Rhus Pendulina - white karee
Salix mucronata - cape willow
Sideroxylon inerme - white milkwood
Syzigium cordatum - water berry
Tarchonanthus camphoratus - wild camphor
Virgilia oroboides – keurboom
Vachellia Xanthophloea - Fever Tree

SHRUBS and GROUND COVERS

Albuca fragrans
Anacardiaceae - *Rhus* species
Anisodonteia scabrosa - sand rose
Arctotis stoechadifolia - gousblom
Arotheca populifolia
Asparagus capensis
Babiana nana
Barleria obtuse - bush violet
Barleria rupens - small bush violet
Brunia albeiflora - coffee bush
Brunsvigia orientalis
Buddleja saligna - mock olive
Buddleja salviifolia – sagewood

Bulbine Fruitescens - Snake Flower (natural snake deterrent)
Caesia contorta
Carissa macrocarpa - Matungula
Carissa bispinosa - Cape num-num
Carpobrotus acinaciformis
Carpobrotus edulis
Cassine aethiopica - Kooboo-berry
Cassine peragua - False saffron
Chlorophytum tricolorum
Chrysanthemoides incana
Chrysanthemoides monilifera - Bush-tick berry
Clusia daphnoides
Coleonema pulchellum - confetti bush
Colpoon compressum - Cape sumach
Conicosia pungionniformis
Cybistetes longifolia
Diospyros glabra - Blueberry bush
Dymondia margaretae - carpet ganzania
Eriocephalus racemosus
Eriocephalus africanus - wild rosemary
Euclea racemosa
Eudea racemose
Euphorbia mauritanica
Euryops
Felicias
Ganzanias
Grewia occidentalis - Crossberry
Haemanthus pubescences
Helichrysums
Indigofera complicata
indigofera incana
Jordaanielle dubai
Lachenalia rubida
Lampranthus sp - vygie
Leonotis
Leucodendrons
Leucospermums
Lycium ferocissimum
Limonium peregrinum
Moraea setifolia
Myrica serrata - Lance leaved waxberry
Olea exasperata - dune olive
Othonna arborensiensis
Pelargonium capitatum
Pelargonium gibbosum
Plumbago
Phyllica cephalantha
Polygala
Portulacaria Afra - Spekboom
Proteas
Psoralea pinnata - fountain bush
Pterocelastrus tricuspidatus - Candlewood
Putterlickis oyracantha
Restios

Rhamnus prunoides - dogwood
Rhus crenata - dune crow berry
Rhus glauca - blue kumi bush
Rhus laevigata
Rhus longispina - thorny taaibos
Ruschia macowani
Ruschia tumidula
Salvia africana - caerulea
Salvia africana - lutea
Salvias
Senecio aloides
Senecio halimifolius
Solanum guineense
Tecomaria capensis - cape honeysuckle
Tetragoania fruticoasa
Trachyandras
Tulbachia Violacea - wild garlic
Zygophyllums

O Fire Precautions

1. Due to the fynbos vegetation on the site, and the proximity to the buildings there is a higher than normal fire risk. Each owner must familiarize themselves with the position of hydrants and hose-reels on the development and with any rules and procedures lay down by the MHOA.
2. The flues of Fireplaces are to be fitted with brass mesh to prevent sparks escaping. Braai places must be built with flues.
3. External taps must be fitted on the site with hoses able to reach the extent of the four corners of the exclusive use area of the site. Two external taps are mandatory on either side of the dwelling, however four external taps fitted to each corner are encouraged.
4. Open fire pits or bomas are strictly forbidden.

P Architectural & Landscape Review and Plan Submission Process

1 Sketch Design Submission (work stage 2) to the Design Review Committee

To facilitate the approval process by the MHOA, sketch plans must be submitted for approval prior to the preparation of the final submission drawings.

1.1 The following drawings and information is required for sketch design submission:

- 1:200 Surveyed Contour Plan
- 1:200 Site plan and Landscape Plan showing roof plan, boundary lines, exclusive use area, interface zone, contours, existing trees, trees to be removed, hard and soft landscaping, driveways (including the access road junction) paved areas, irrigation sleeves. The Landscape plan need not include a list of plants to be used, but must include an undertaking that only the plants outlined in the plant list will be used.
- Site Area Calculation
- Coverage Calculation
- 1:100 Plans showing retaining walls, pergolas, terraces and stoeps/ verandahs.
- 1:100 Elevations and Sections and/ or 3 Dimensional Studies showing levels, heights, materials and finishes.
- Site Number and North Point
- Boundary Walls and Retaining Structures showing cut and fill.
- 1:200 Longitudinal section taken through slope of site and showing site boundaries, natural ground line, finished ground line and heights. Levels to be related to actual levels taken from Land Surveyors survey drawings.
- The SACAP registration number of the person and/or company that prepared the submission.

1.2 Two sets of the above documents are to be submitted to the EA.

1.3 A submission and scrutiny fee is payable at sketch design submission and must be submitted with the above documentation.

2 Submission of Council Drawings to MHOA

2.1 Two sets of council submission drawings are to be submitted to the EA, prior to submission to the Municipality. These drawings can only be submitted, after the sketch design submission has been approved. The drawings need to comply with requirements of local authority, but must include the updated documentation as per the sketch design submission requirements with added information for local authority submission. It must also include the following:

An external finishes specification and the hard and soft landscaping proposed.
Stormwater drainage plan.

- 2.2 Four sets of drawings need to be submitted to the EA. One set will be retained by the EA for their records. Three approved plans will be returned for submission to the local authority.

3 Local Authority Plan Approval

- 3.1 Drawings can be submitted to the building services department of Theewaterkloof Municipality (028-2143300). Submission are to be in terms of the National Building Regulations, the Local Authority Requirements and the NHBRC.

- 3.2 All submissions are to be the responsibility of the owner or owner's architectural professional.

- 3.3 Prior to work starting on site,

- 3.3.1 the following information must be submitted to the EA:

- 1 copy of the Local Authority approved plans
- site survey
- Copy of NHBRC registration.
- revised finishes specification list, if changed
- letter of notification of intent to access the site with start and completion dates

- 3.3.2 the following information must be submitted to the managing agent:

- Signed Building Contractor's Code of Conduct Agreement (signed by the contractor)
- Copy of NHBRC registration
- Signed security access form for building contractor limited to the primary builder and foreman

Q Disclaimers

- 1 This document is considered supplementary to the National Building Regulations (NBR) and cannot take precedence. Should any provisions of this document be regarded as contrary to the NBR, then the NBR shall prevail.

- 2 This document is considered supplementary to the Local Authority requirements and cannot take precedence. Should any provisions of this document be regarded as contrary to the Local Authority requirements, then the Local Authority requirements shall prevail, other than for the aesthetic or architectural approval.

- 3 This document is to be considered supplementary to the Home Owners' Constitution and cannot take precedence. Should any provisions to this document be regarded as contrary to the Homeowners' Constitution, then the Home Owners' Constitution shall prevail.

R: Expansion of coverage from 175sqm or 200sqm properties to new 260sqm coverage

The following sets out the new application for additional site coverage from previously completed houses to incorporate the new 260sqm coverage. As per 2.6 (pg 10), the coverage is defined as:

- the maximum allowable ground floor enclosed footprint and coverage is 200sqm
- an additional 60sqm is permitted for coverage of stoeps, verandahs and carports which is limited to the ground floor

The additional 60sqm is limited to the ground floor level and must take the shape of a secondary form. Any proposed additions or extensions must be of a different material/finish than the primary forms. To further demonstrate the difference between primary and secondary forms, a juxtaposition of solids and voids/openings is encouraged.

The sides of this added space must therefore be left open or glazed, except in the case of a braai addition which may be expressed as a solid block form. The 200mm step away from the primary form corners as well as the 200mm distance from the underside of the primary form's eaves restrictions also still apply.

The long side of the open verandahs may be enclosed with retractable glazed doors such as or stackable or sliding openings.

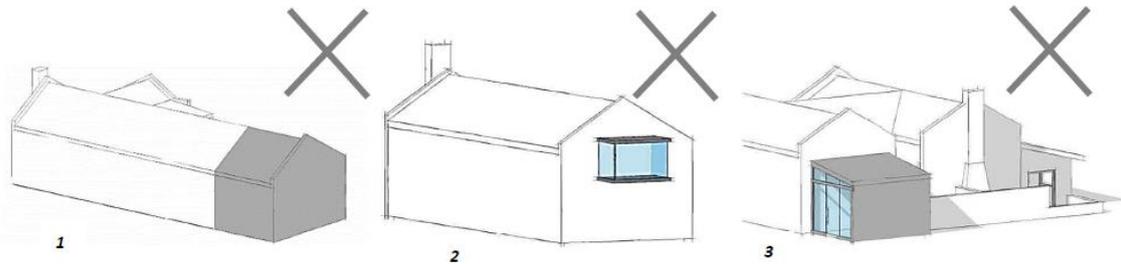


Fig. 1 Image depicting extensions/additions. Extension of a primary form is not permitted (1), the second an addition on first floor only (in this case a bay window-2) is not permitted, the third an addition of a secondary form to a primary form that **is permitted**.

Examples could be, but are not limited to, different kinds of verandah enclosures, courtyard enclosures, extensions/additions.

The following are depictions of possible extensions/additions permitted and not permitted:

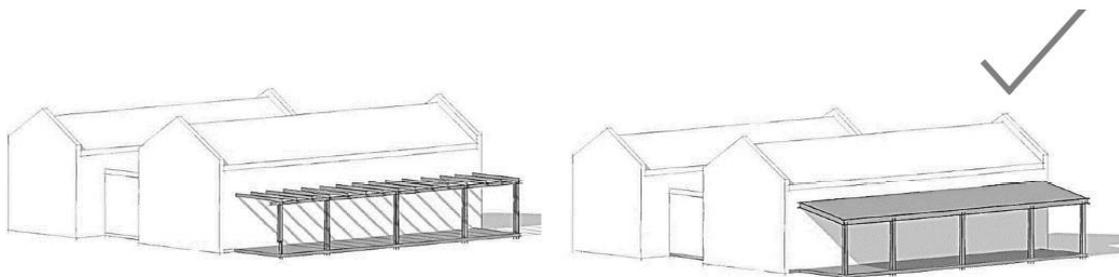


Fig. 2 Example of an addition of a verandah roof on an existing pergola

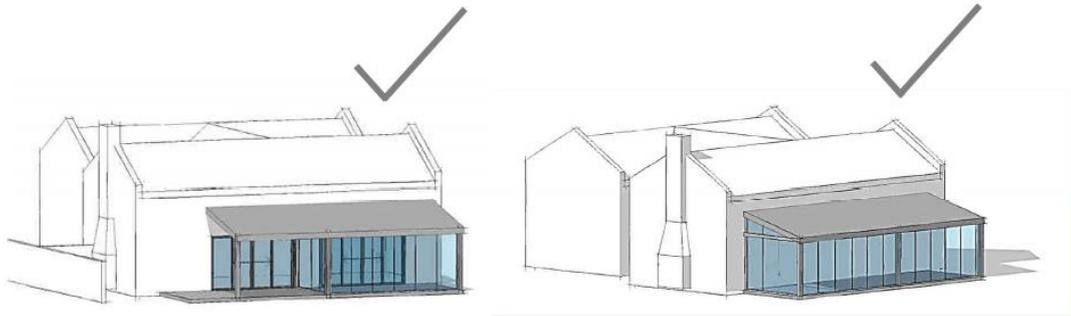


Fig. 4 Example of a verandah half or fully enclosed with glazing.

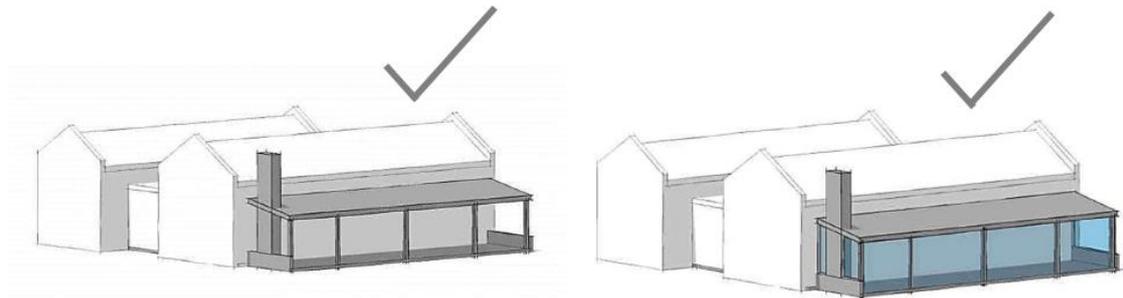


Fig. 5 Example of an addition of a roofed outside/inside braai area which could be enclosed with glazing.

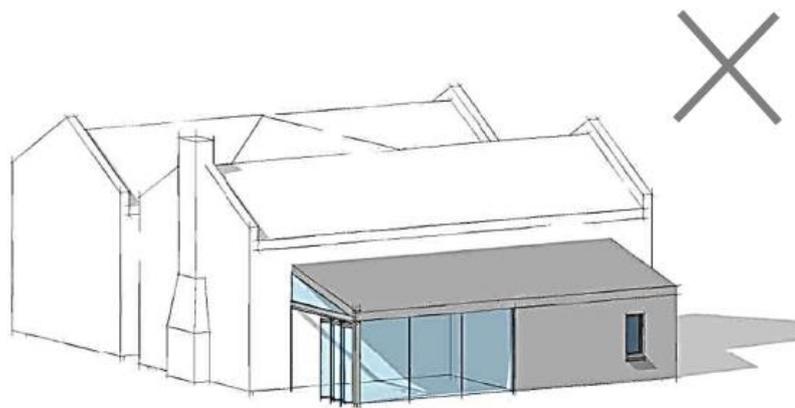


Fig. 6 Example of a half walled and half glazed verandah. Not permitted.

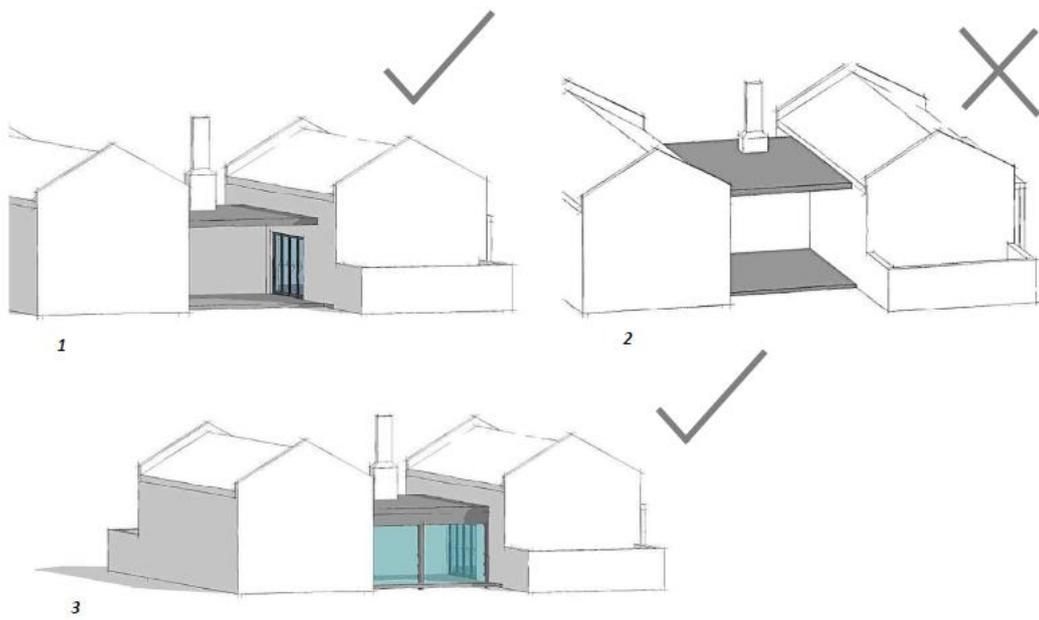


Fig. 8 Examples of a space located between two primary forms. The first image depicting the roof of the secondary form 200mm underneath the primary forms' eaves, whereas the second image depicts no 200mm spacing. The third image depicts the secondary form enclosed with glazing.

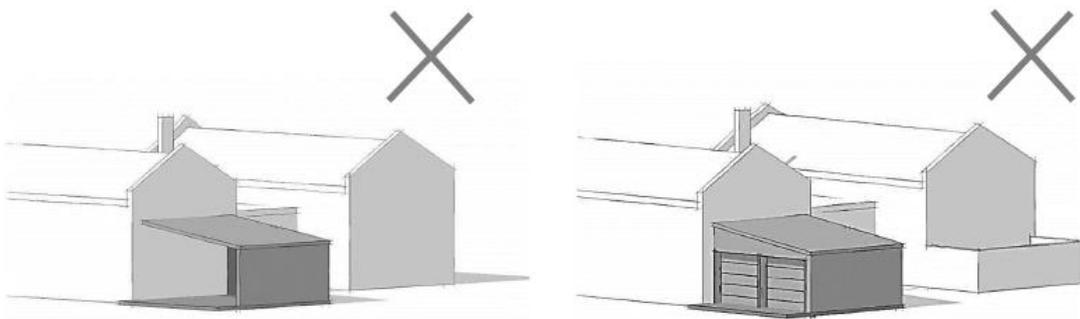


Fig. 9 Example of the addition of a partly walled carport or double garage to a primary form's gable. Not permitted. Only open sided carports are permitted.

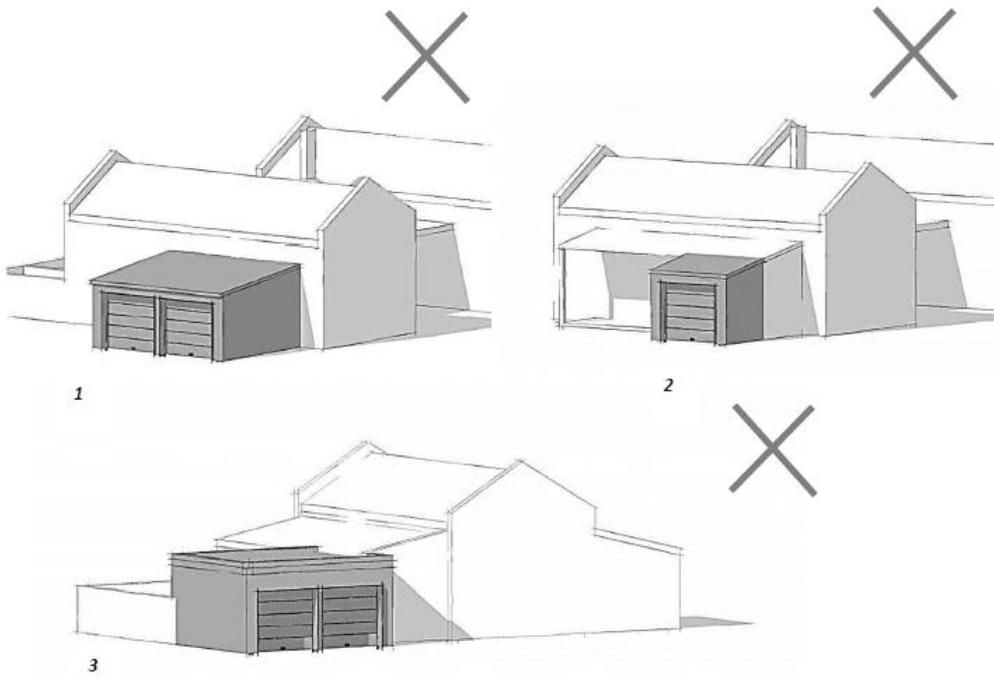


Fig. 10 Further examples not permitted.

S: Town Planning & Homeowner Checklist for Maremma Estate

| | Prescription for Maremma Estate | Specific to Maremma Court Sites | Specific to Maremma Fynbos & Paddock Sites | Homeowner Checklist |
|---------------------------------|---|--|--|---------------------|
| Portion number | | 6-23 | 24-55 | |
| Primary use | Residential dwelling | | | |
| Erf size | 400sqm | | | |
| Site dimensions | | 20mx20m | 22.2mx18m | |
| Coverage | 65% being 200sqm + 60sqm for stoep, verandah & car port coverage limited to ground floor | | | |
| Bulk | Maximum allowable bulk, which includes the area covered by the ground floor of the house and any first floor space is 1 | | | |
| First floor | Maximum wall plate height of 1.4m | | | |
| Basement floor | Permitted | | | |
| Height | 6.5m above the natural ground level of the site | | | |
| Building line | 0m (zero metres) applies to all boundaries of all the sites | | | |
| Building style | Contemporary Cape Barn simple design depicted as single storey in building expression with rectilinear planes only for doors and fenestration. | | | |
| Building shape | | H, L, T or U | H | |
| Building orientation | | One primary form parallel to the court it faces | Must be placed parallel with the long boundaries of the site, with the gables facing the short side boundaries | |
| Primary building forms | Minimum one primary building form of rectangular design with double pitched roofs (35-45 deg) Maximum width of 6.5m and a length which is a minimum of twice its width Must have gabled ends. | May be linked directly to each other with hipped or valley roofs | Parallel to each other and each primary form must be roofed individually | |
| Secondary building forms | Abut or link primary forms and have concrete flat roofs or low pitch (≤ 5 deg) sheet metal roofing. Highest point of Secondary Building Forms must be no higher than 200mm below the eaves of a Primary Building Form. | | | |
| Exclusive Use | 600sqm surrounding the portion No structures or hard landscaping Only soft landscaping in line with authorized plant list for locally indigenous and non-invasive species. Any vegetable garden or other non-indigenous planting may only be planted within the 400sqm site. | | | |

| | Prescription for Maremma Estate | Specific to Maremma Court Sites | Specific to Maremma Fynbos & Paddock Sites | Homeowner Checklist |
|------------------------------------|--|---|---|----------------------------|
| Finished Floor Level | No more than 1.2m above natural ground | | | |
| Driveway Access | Single pair of concrete strips from street access (applies regardless if single or double garage) | Driveway access should be to a particular side boundary | Restricted to the street facing boundary | |
| Parking | Two parking bays in addition to any garaging is required | | | |
| Roof material & colour | Pre-coloured S-profile corrugated metal sheeting in single shade of grey for all primary forms. No thatch roofs permitted. Secondary forms and stoeps may use stone-chip or glazing subject to restrictions in the design controls. | | | |
| External Wall Colour | Selection from Maremma Estate colour palette. Single colour for primary forms. Secondary darker shade may be selected for secondary form. | | | |
| Bagged Brick Work | Limited to 25% of external walls of primary form for feature walls or chimneys. No bagged brick on gable ends except for chimneys. Grey or white cement wash to be used. | | | |
| Door Material & Colour | Natural or painted (same hue as wall colour) timber or powder coated aluminum (to match roof colour) | | | |
| Window Types & Finishes | Windows are to be rectilinear. Natural or painted (same hue as wall colour) timber or powder coated aluminum (to match roof colour) | | | |
| Shutters | Functional shutters only. Material and finishes are to match the window finishes and doors of the house. | | | |
| Burglar Bars | Simple design only; no Trellidor-style for external use | | | |
| Boundary wall or Fence | Must not exceed three sides of the dwelling with the fourth side being the street facing side of the dwelling and driveway remaining unenclosed. Max height of 1.8m. Post and rail-style fencing with horizontal and vertical wooden poles and wire mesh must be used for any fencing. No ClearVu fencing. | Low werf walls also permitted. Max 800mm. | As prescribed for the estate | |
| Balustrading | Simple design in timber or steel or combination | | | |
| | Prescription for Maremma | Specific to Maremma | Specific to Maremma | Homeowner Checklist |

| | Estate | Court Sites | Fynbos & Paddock Sites | |
|--|--|--------------------|-----------------------------------|--|
| Rainwater Goods | Pre-coloured metal downpipes must match the colour of the roof and gutter, or PVC pipes to be painted to match same hue of wall colour. | | | |
| Swimming Pool | Only permitted within 400sqm. Pool fence and cover to follow national regulations; colour and materials to follow estate regulations. | | | |
| Solar or Alternative Power for Geyser | 50% of water heating must be via solar and/or heat pumps as per national regulations. Where solar panels are on street facing boundary, a split system geyser is required. | | | |
| Solar or Alternative Power for Other | Solar & alternative power encouraged. Only sound attenuated generators permitted. | | | |
| Gas Hob | Mandatory for cooking | | | |
| External Taps | Mandatory for 2 taps, one on either side of the dwelling; however having four is encouraged | | | |
| Water Tanks | Encouraged; colour must match background colour | | | |